

CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1

EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT TEAM

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SHEET INDEX

ARCHITECTURE

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| CITY OF DEER PARK DATE AUG 14 2017 | |

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PROJECT PHASE
 BID - 8/3/17
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PROJECT NUMBER
 16123-00
DATE ISSUED
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SHEET TITLE

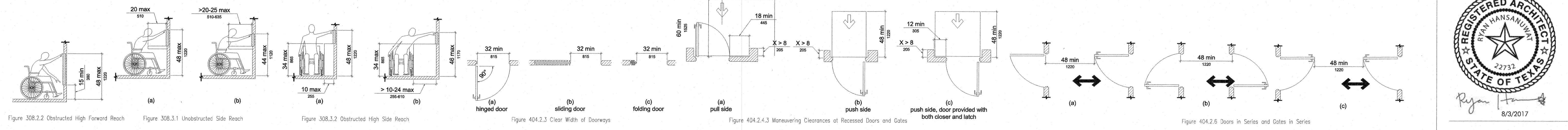
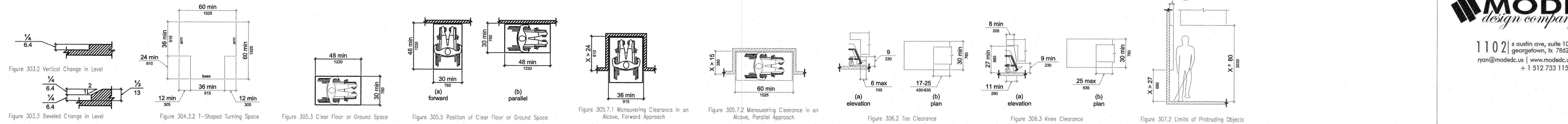
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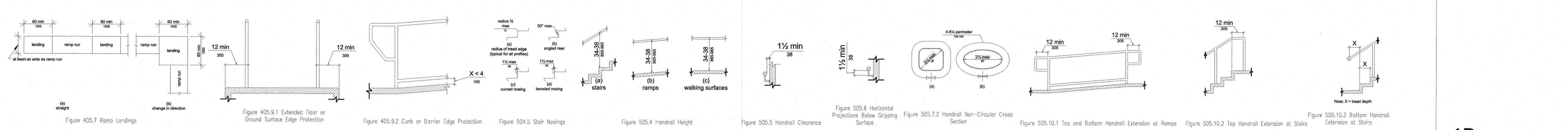
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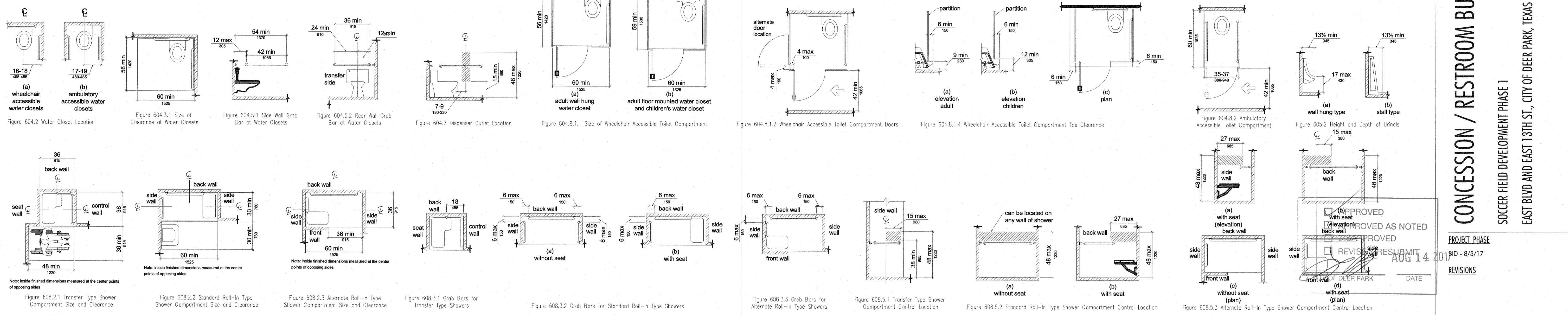
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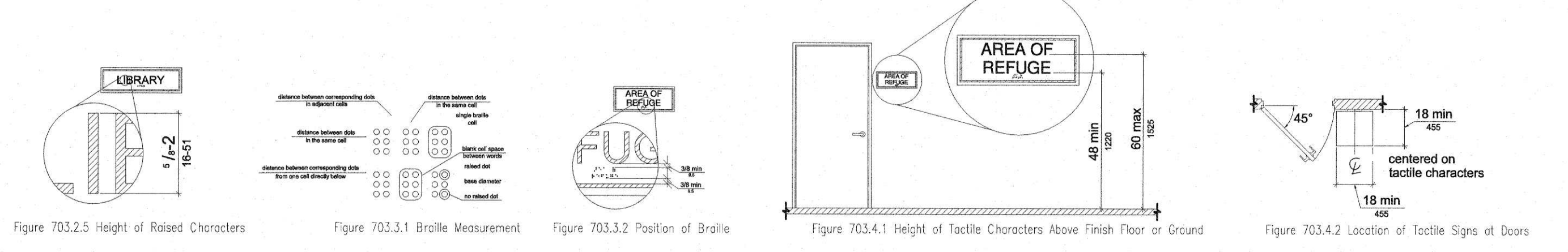
RAMP AND STAIRS



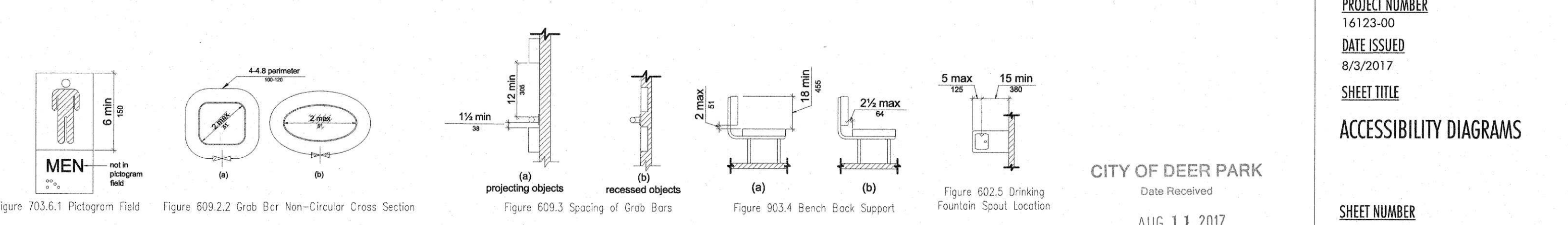
TOILET AND BATHING ROOMS



SIGNAGE



MISC.



APPROVED
AS NOTED
REVISOR'S SIGNATURE
DATE

AUG 14 2017

FLOOR PLAN LEGEND

| | |
|--|-------------------------|
| | NEW WALL |
| | EXISTING WALL TO REMAIN |
| | ITEMS TO BE DEMOLISHED |
| | CENTERLINE |
| | COLUMN GRID |
| | PARTITION TYPE |
| | WINDOW TYPE |
| | DOOR NUMBER |
| | ROOM NAME AND NUMBER |
| | ELEVATION DATUM POINT |
| | ELEVATION VIEW |
| | SECTION/DETAIL |
| | ENLARGED PLAN |
| | REVISION KEY |
| | REVISION CLOUD |
| | NORTH ARROW |

ARCHITECTURE ABBREVIATIONS

| | | | | | |
|------------|---|---------|-----------------------------|--------|-------------------------------|
| A/C | AIR CONDITIONING | GA | GAUGE | PLAM | PLASTIC LAMINATE |
| ACC | ACCESS | GALV | GALVANIZED | PLMB | PLUMBING |
| ACP | ACOUSTICAL CEILING PANEL | GB | GRAB BAR | PLYWD | PLYWOOD |
| ADDL | ADDITIONAL | GC | GENERAL CONTRACTOR | PNL | PANEL |
| ADDM | ADDENDUM | GD | GRADE | PREFAB | PREFABRICATED |
| ADH | ADHESIVE | GEN | GENERAL | PREFIN | PREFINISHED |
| ADJ | ADJUSTABLE | GL | GLASS/GLAZING | PRF | PREFORMED |
| AFF | ABOVE FINISHED FLOOR | GLB | GLASS BLOCK | PSF | POUNDS PER SQUARE FOOT |
| AGG | AGGREGATE | GTR | GUTTER | PSI | POUNDS PER SQUARE INCH |
| ALT | ALTERNATE | GVL | GRAVEL | PT | PAINT |
| ALUM | ALUMINUM | GYP | GYP SUM | PVC | POLYVINYL CHLORIDE |
| APPROX | APPROXIMATELY | GYP BD | GYP SUM BOARD | | |
| ARCH | ARCHITECT/ARCHITECTURAL | | | R | RADIUS |
| ASPH | ASPHALT | HB | HOSE BIB | RA | RETURN AIR |
| AUTO | AUTOMATIC | HC | HOLLOW CORE | RD | ROOF DRAIN |
| AV | AUDIO VISUAL | HDP | HANDICAP | RE BAR | REINFORCING BARS |
| | | HDR | HEADER | RECP | RECEPTACLE |
| BD | BOARD | HDWR | HARDWOOD | REF | REFERENCE |
| BL | BUILDING LINE | HDMR | HARDWARE | REFR | REFRIGERATOR |
| BLDG | BUILDING | HM | HOLLOW METAL | REG | REGISTER |
| BLVD | BOULEVARD | HORZ | HORIZONTAL | REIN | REINFORCED |
| BM | BEAM | HT | HEIGHT | REQD | REQUIRED |
| B.M. | BENCH MARK | HTG | HEATING | RET | RETURN |
| BRK | BRICK | HVAC | HEATING VENTILATION | RH | RIGHT HAND |
| BRZ | BRONZE | | AIR CONDITIONING | RM | ROOM |
| BSMT | BASEMENT | HW | HOT WATER | RO | ROUGH OPENING |
| BTU | BRITISH THERMAL UNIT | | | ROW | RIGHT OF WAY |
| BVL | BEVEL/BEVELED | IBC | INTERNATIONAL BUILDING CODE | RT | RUBBER TILE |
| | | | | S | SOUTH |
| CAB | CABINET | IN | INCH | SBC | STANDARD BUILDING CODE |
| CB | CATCH BASIN | INCL | INCLUDED | SC | SOLID CORE |
| C/C | CENTER TO CENTER | INSUL | INSULATION | SCHED | SCHEDULE |
| CFCI | CONTRACTOR FURNISHED CONTRACTOR INSTALLED | INT | INTERIOR | SCN | SCREEN |
| | | JAN | JANITOR | SEAL | SEALANT |
| CI | CORNER GUARD | JBOX | JUNCTION BOX | SHTH | SHATHING |
| CG | CEILING | JCT | JUNCTION | SHT | SHEET |
| CLK | CAULK/CAULKING | JST | JOIST | SH | SHINGLE HUNG |
| CLO | CLOSET | JT | JOINT | SIM | SIMILAR |
| CLR | CLEAR/CLEARANCE | | | SLV | SLEEVE |
| CMU | CONCRETE MASONRY UNIT | KIT | KITCHEN | SPEC | SPECIFICATIONS |
| CND | CONDUIT | KPL | KICKPLATE | SQ | SQUARE |
| COL | COLUMN | KO | KNOCK OUT | SQ FT | SQUARE FEET |
| COMP | COMPOSITION/COMPOSITE | | | SS | STAINLESS STEEL |
| CONC | CONCRETE | LAB | LABORATORY | STD | STANDARD |
| CONF | CONFERENCE | LAM | LAMINATE | STL | STEEL |
| CONN | CONNECTION | LAV | LAVATORY | STOR | STORAGE |
| CONST | CONSTRUCTION | LH | LEFT HAND | STRUC | STRUCTURAL |
| CSMT | CASEMENT | LL | LIVE LOAD | SUSP | SUSPENDED |
| | | LT | LIGHT | SYM | SYMMETRICAL |
| DEPT | DEPARTMENT | LWT | LIGHTWEIGHT | SYN | SYNTHETIC |
| DH | DOUBLE HUNG | | | SYS | SYSTEM |
| DIA | DIAMETER | MAS | MASONRY | TAN | TANGENT |
| DIM | DIMENSION | MATL | MATERIAL | TAS | TEXAS ACCESSIBILITY STANDARDS |
| DN | DOWN | MAX | MAXIMUM | TECH | TECHNICAL |
| DS | DOWNSPOUT | MB | MACHINE BOLT | TELE | TELEPHONE |
| DW | DISHWASHER | MECH | MECHANICAL | T&G | TONGUE AND GROOVE |
| DWG | DRAWING | MEMB | MEMBRANE | THK | THICK |
| | | MEZZ | MEZZANINE | THRES | THRESHOLD |
| E | EAST | MFR | MANUFACTURER | TIT | TOILET |
| EA | EACH | MH | MAN HOLE | TOB | TOP OF BLOCK |
| EB | EXPANSION BOLT | MICRO | MICROWAVE | TOC | TOP OF CURB |
| EJ | EXPANSION JOINT | MIN | MINIMUM | TOM | TOP OF MASONRY |
| EL | ELEVATION | MIR | MIRROR | TOP | TOP OF PARAPET |
| ELEC | ELECTRIC/ELECTRICAL | MISC | MISCELLANEOUS | TOPL | TOP OF PLATE |
| ELEV | ELEVATION/ELEVATOR | MLD | MOULDING | TOS | TOP OF STEEL |
| EMER | EMERGENCY | MLWK | MILLWORK | TOSL | TOP OF SLAB |
| ENC | ENCLOSURE | MO | MASONRY OPENING | TOW | TOP OF WALL |
| ENT | ENTRANCE | MOD | MODULAR | TRANS | TRANSFORMER |
| EQ | EQUAL | MTD | MOUNTED | TS | TUBE STEEL |
| EQPT | EQUIPMENT | MTL | METAL | TV | TELEVISION |
| ESTM | ESTIMATE | MULT | MULTIPLE | TYP | TYPICAL |
| EWC | ELECTRIC WATER COOLER | | | UBC | UNIFORM BUILDING CODE |
| EVH | ELECTRIC WATER HEATER | N | NORTH | UNFIN | UNFINISHED |
| EXC | EXCAVATE | NAT | NATURAL | UNO | UNLESS NOTED OTHERWISE |
| EXF | EXHAUST FAN | NIC | NOT IN CONTRACT | UR | URINAL |
| EXH | EXHAUST | NOM | NOMINAL | | |
| EXT | EXTERIOR | NTS | NOT TO SCALE | VB | VAPOR BARRIER |
| | | OBS | OBSOLETE | VAR | VARIES |
| FA | FIRE ALARM | OC | ON CENTER | VERT | VERTICAL |
| FBD | FIBER BOARD | OCEW | ON CENTER EACH WAY | VENT | VENTILATION |
| FBO | FURNISHED BY OWNER | OD | OUTSIDE DIAMETER | VOL | VOLUME |
| FBK | FIRE BRICK | OH | OVERHEAD | | |
| FD | FLOOR DRAIN | OP | OPaque | WTW | WALL TO WALL |
| FDC | FIRE DEPARTMENT | OPNG | OPENING | WC | WATER CLOSET |
| CONNECTION | | OPP | OPPOSITE | WH | WATER HEATER |
| FE | FIRE EXTINGUISHER | OPP HD | OPPOSITE HAND | WP | WATER PROOFING |
| FEC | FIRE EXTINGUISHER CABINET | ORIG | ORIGINAL | W | WEST |
| FF | FINISH FLOOR | OWJ | OPEN WEB JOIST | W/ | WITH |
| FFE | FINISHED FLOOR ELEVATION | OZ | OUNCE | W/O | WITHOUT |
| FFL | FINISHED FLOOR LINE | | | WD | WOOD |
| FIN | FINISHED | PAR | PARALLEL | WDW | WINDOW |
| FIXT | FIXTURE | PART | PARTITION | WT | WEIGHT |
| FLOUR | FLOURESCENT | PART BD | PARTICLE BOARD | WI | WROUGHT IRON |
| FLR | FLOOR | PC | PRECAST | YD | YARD |
| FNDN | FOUNDATION | PCF | POUNDS PER CUBIC FOOT | | |
| FOC | FACE OF CONCRETE | PE | PEDESTAL | | |
| FOF | FACE OF FINISH | PERIM | PERIMETER | | |
| FOM | FACE OF MASONRY | PERM | PERMANENT | | |
| FOS | FACE OF STUD | PERP | PERPENDICULAR | | |
| FP | FIREPROOF | PFL | POUNDS PER LINEAL FOOT | | |
| FPL | FIREPLACE | PKG | PARKING | | |
| FRC | FIRE RESISTANT COATING | PL | PLATE | | |
| FRT | FIRE RETARDANT | PL | PROPERTY LINE | | |
| FT | FOOT/FEET | PLAS | PLASTER | | |
| FTG | FOOTING | | | | |
| FURR | FURRED/FURRING | | | | |
| FURN | FURNISHED | | | | |

INTERIOR FINISHES ABBREVIATIONS

| | | | | | |
|------|--------------------------|-----|----------------------|------|------------------------|
| ACP | ACOUSTICAL CEILING PANEL | PL | PLASTIC LAMINATE | STC | STAINED CONCRETE |
| CONC | CONCRETE | PT | PAINT | TZ | TERRAZZO |
| CPT | CARPET/CARPET TILE | QT | QUARRY TILE | VCT | VINYL COMPOSITION TILE |
| CT | CERAMIC TILE | RAF | RAISED FLOORING | VT | VINYL TILE |
| F | FURNITURE | RB | RESILIENT BASE | VWC | VINYL WALL COVERING |
| FAB | FABRIC (FURNITURE) | RES | RESINOUS FLOORING | WD | WOOD VENEER/WOOD BASE/ |
| FWC | FABRIC WALLCOVERING | RF | RESILIENT FLOORING | WDT | WOOD TRIM |
| GL | GLASS/GLAZING | SP | SPECIALTY PRODUCTS | WDFL | WOOD FLOORING |
| GLB | GLASS BLOCK | SS | SOLID SURFACE | WT | WINDOW TREATMENT |
| MTL | METAL | ST | STONE/STONE FLOORING | | |



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8/3/2017

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APPROVED
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CITY OF DEER PARK DATE

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ABBREVIATIONS & NOTES

CITY OF DEER PARK
Date Received
AUG 11 2017
ENGINEERING DEPARTMENT

SHEET NUMBER
A-0.2

GENERAL NOTES TO FLOOR PLAN:

PLAN:

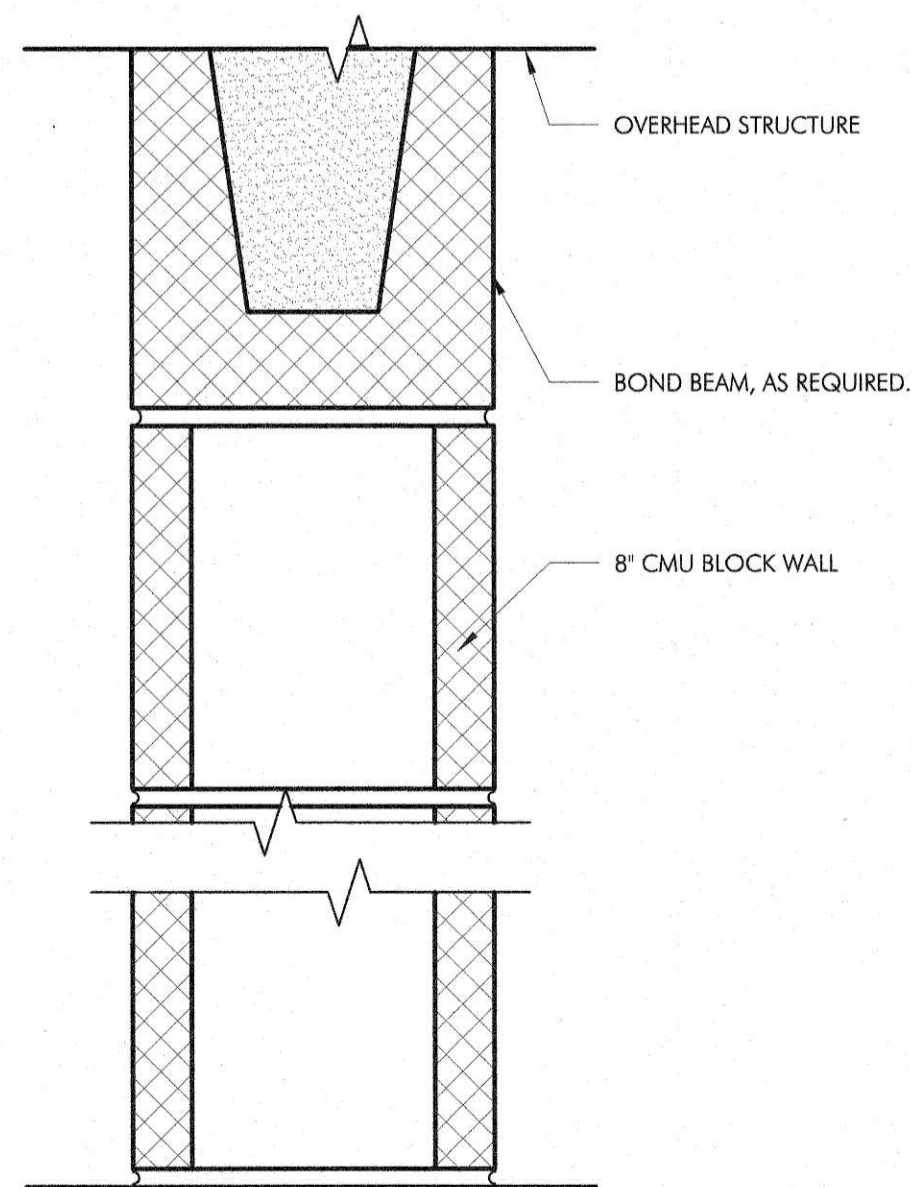
- 1) ALL PARTITIONS ARE TYPE 'A-6', UNLESS NOTED OTHERWISE (U.N.O.).
- 2) DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.N.O.
- 3) ANY CONFLICTS FOUND IN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE ANY WORK BEGINS.
- 4) WHERE DOUBLE GYPSUM BOARD PARTITION ARE IN LINE AND ABUTTS AGAINST A SINGLE GYPSUM BOARD PARTITION, ALIGN SO AS TO HAVE A FLUSH FINISH.
- 5) FLOORING TO BE SEALED CONCRETE THROUGHOUT

KEYNOTES

| | |
|---|--|
| 1 | MEDIUM BROOM CONCRETE FINISH THROUGHOUT |
| 2 | PROVIDE CONCRETE CONTROL JOINTS AS INDICATED WITH 'CJ' & NO MORE THAN 15'-0" APART THROUGHOUT SLAB |
| 3 | FLUSH FLOOR DRAIN. SLOPE SLAB TO DRAIN |

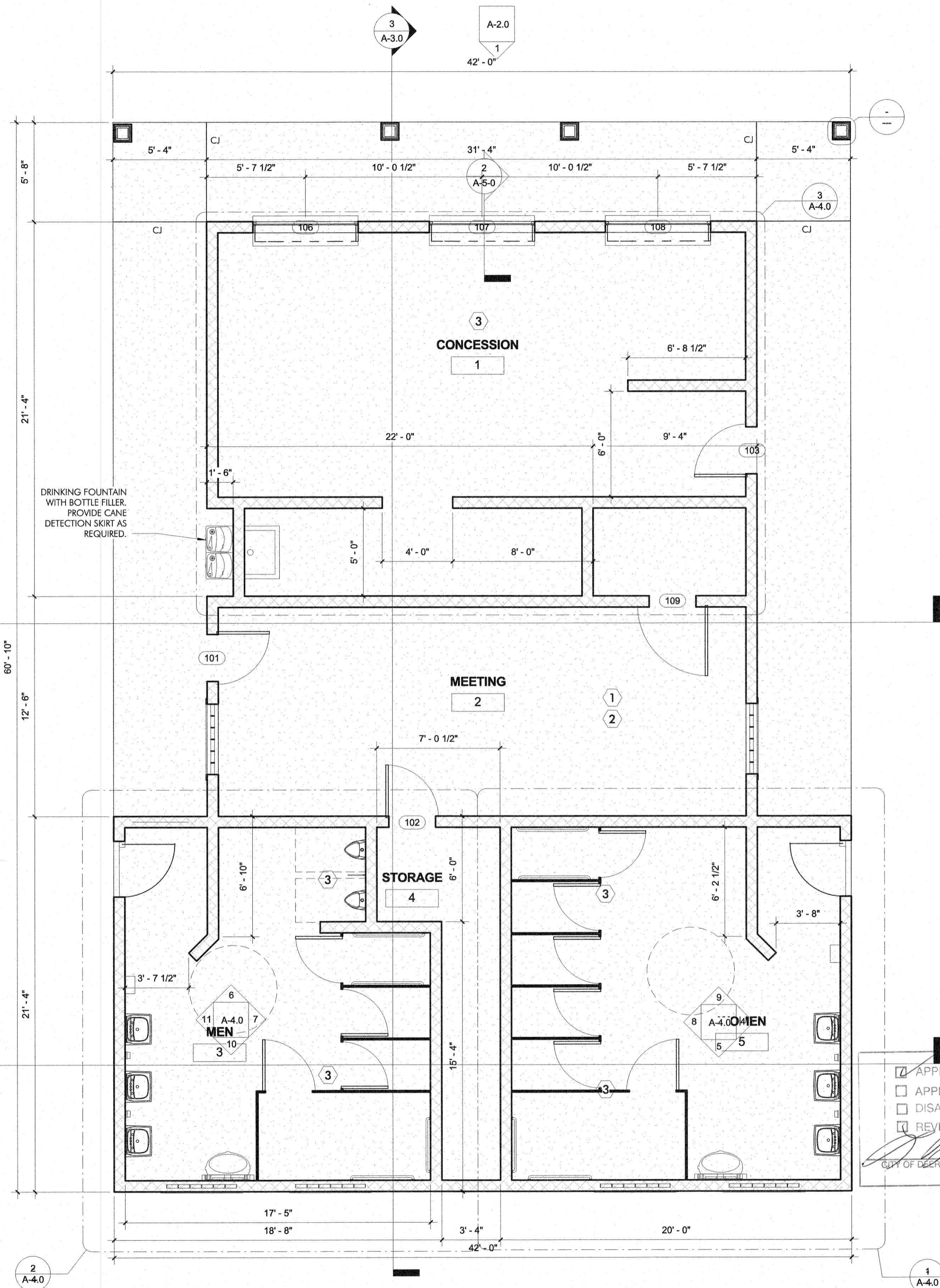
PARTITION TYPE A

DESCRIPTION: 8" CMU BLOCK WALL



2 PARTITION TYPE A
3" = 1'-0"

1 FLOOR PLAN
1/4" = 1'-0"



APPROVED
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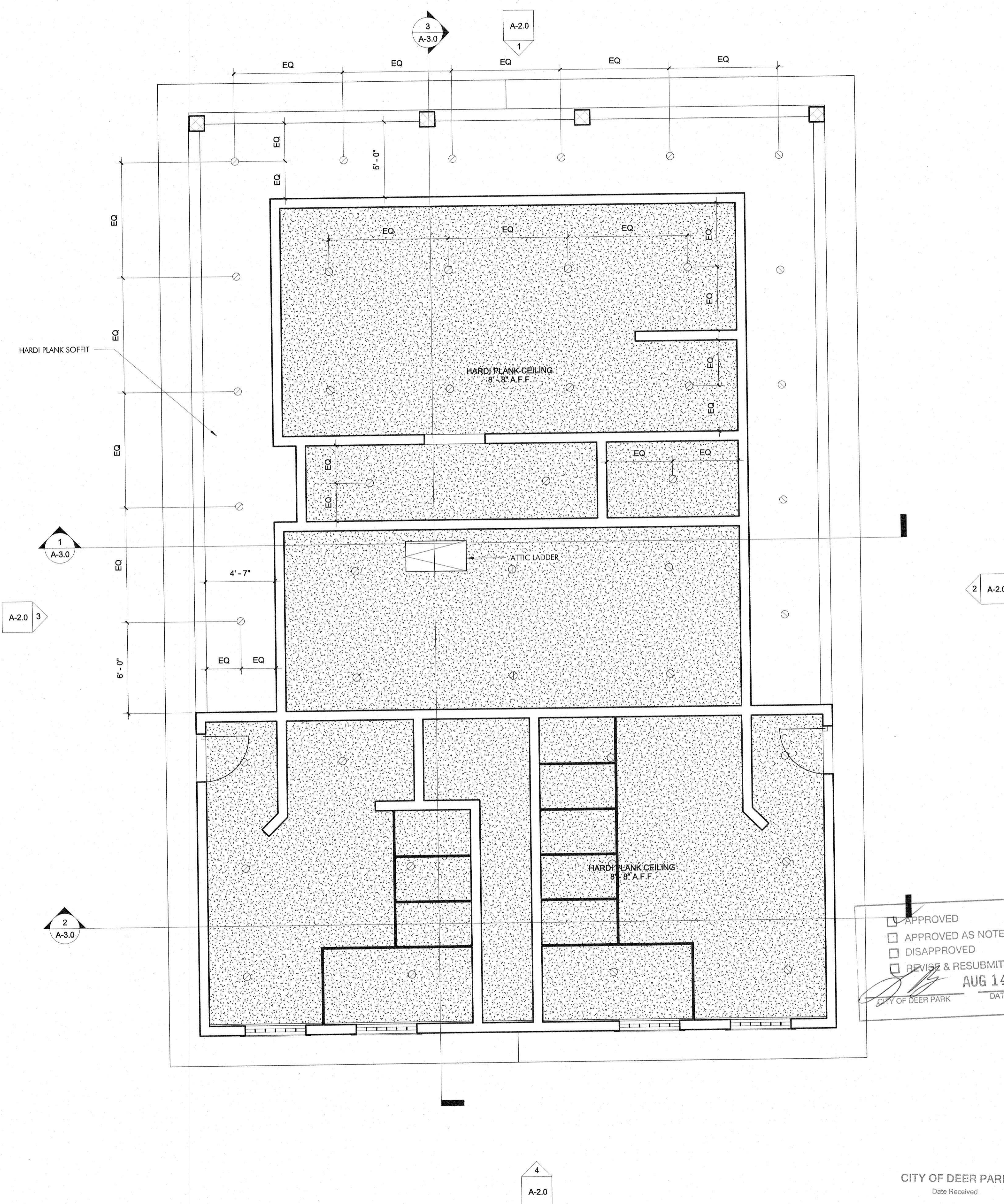
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FLOOR PLAN

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A-1.1



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1 REFLECTED CEILING PLAN
1/4" = 1'-0"

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CONCESSION / RESTROOM BUILDING

Soccer Field Development Phase 1
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REFLECTED CEILING PLAN

SHEET NUMBER
A-1.2

5

4

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2

1

D

C

B

A

PREFINISHED METAL GUTTER

PREFINISHED STANDING SEAM METAL ROOF

1
A-3.0

A-2.0 3

2
A-3.0

3
A-3.0

A-2.0
1

2
A-2.0

6
11 A-4.0 7
10

9
8 A-4.0 4
5

APPROVED

APPROVED AS NOTED

DISAPPROVED

REVISE & RESUBMIT

[Signature] AUG 14 2017

CITY OF DEER PARK DATE

1 ROOF PLAN
1/4" = 1'-0"

5

4

3

2

1

MODE
design company

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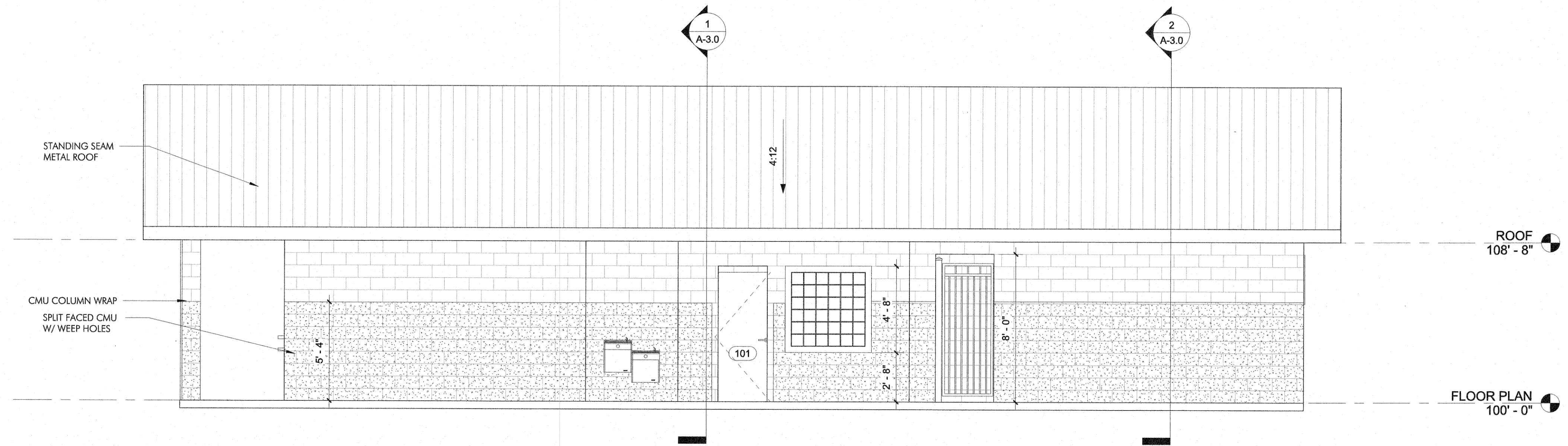
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ROOF PLAN

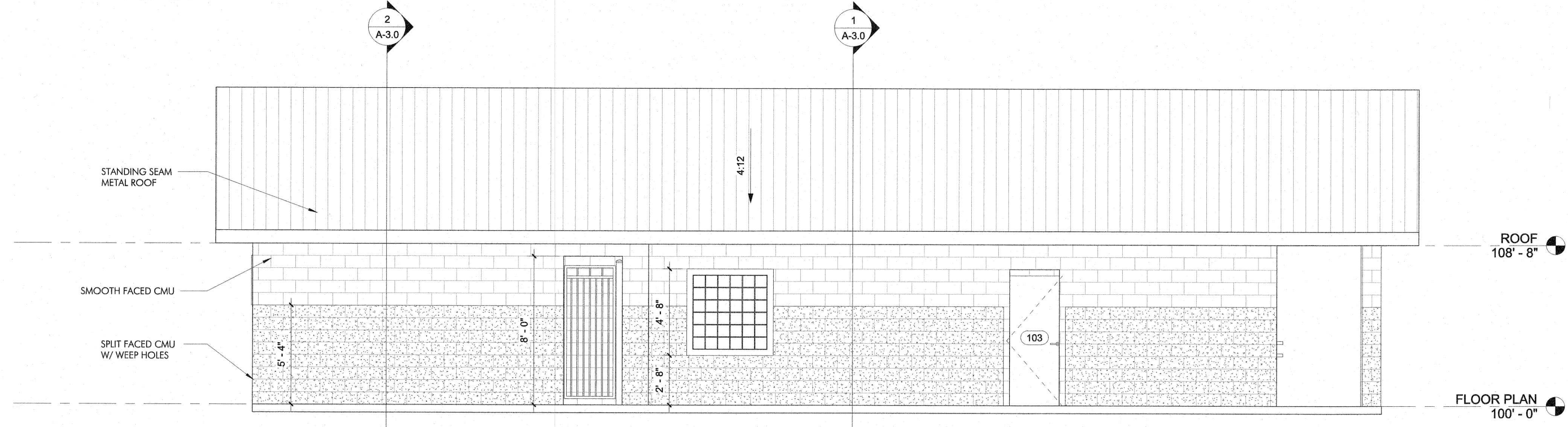
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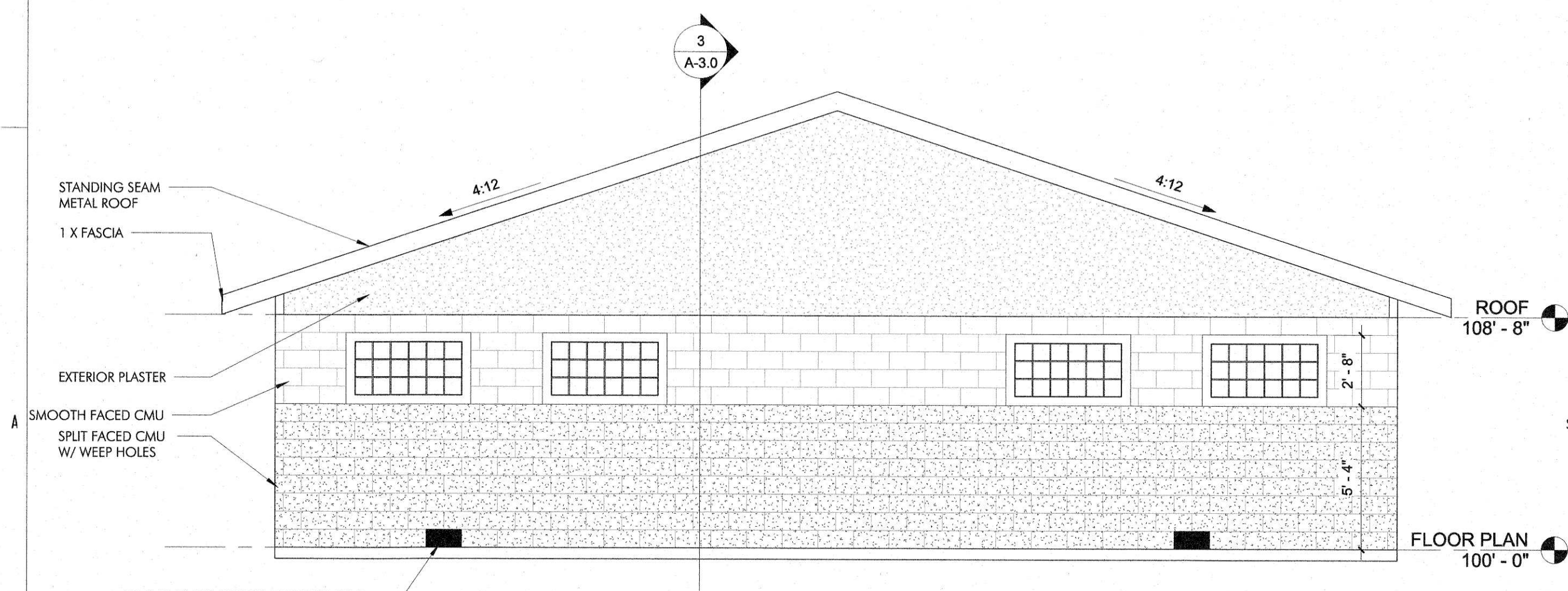
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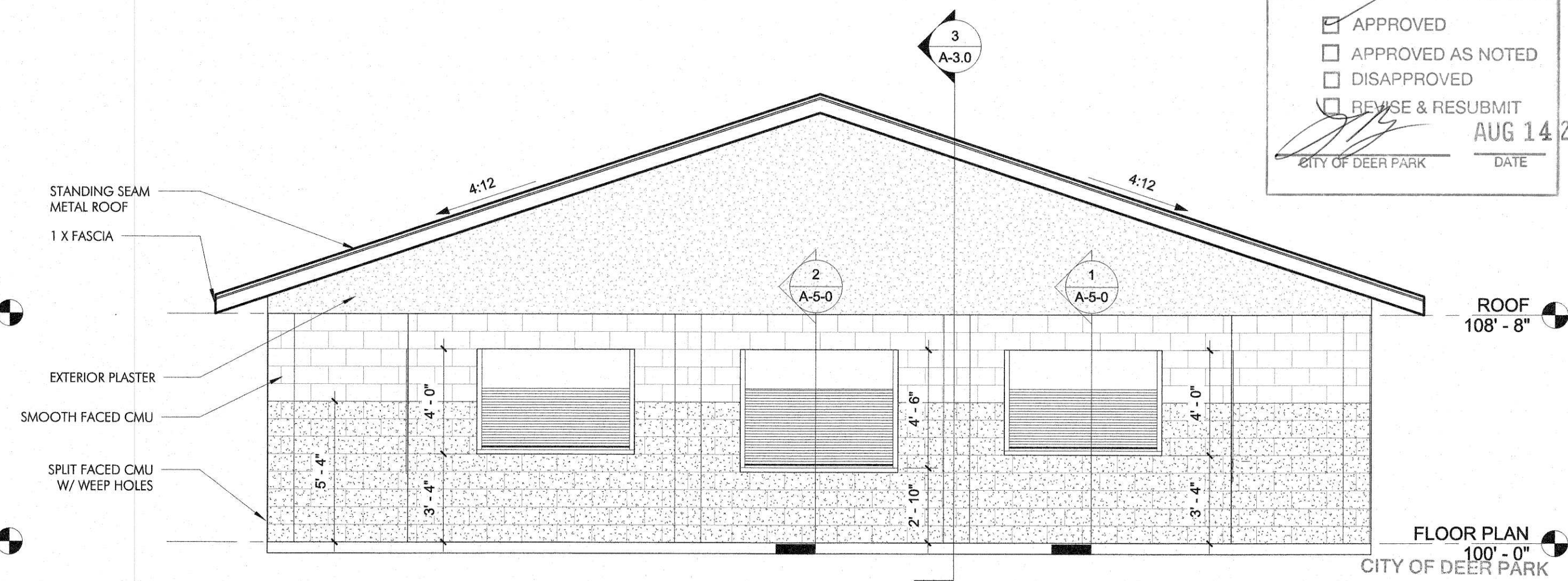
3 EXTERIOR ELEVATION
1/4" = 1'-0"



2 EXTERIOR ELEVATION
1/4" = 1'-0"



4 EXTERIOR ELEVATION
1/4" = 1'-0"



1 EXTERIOR ELEVATION
1/4" = 1'-0"

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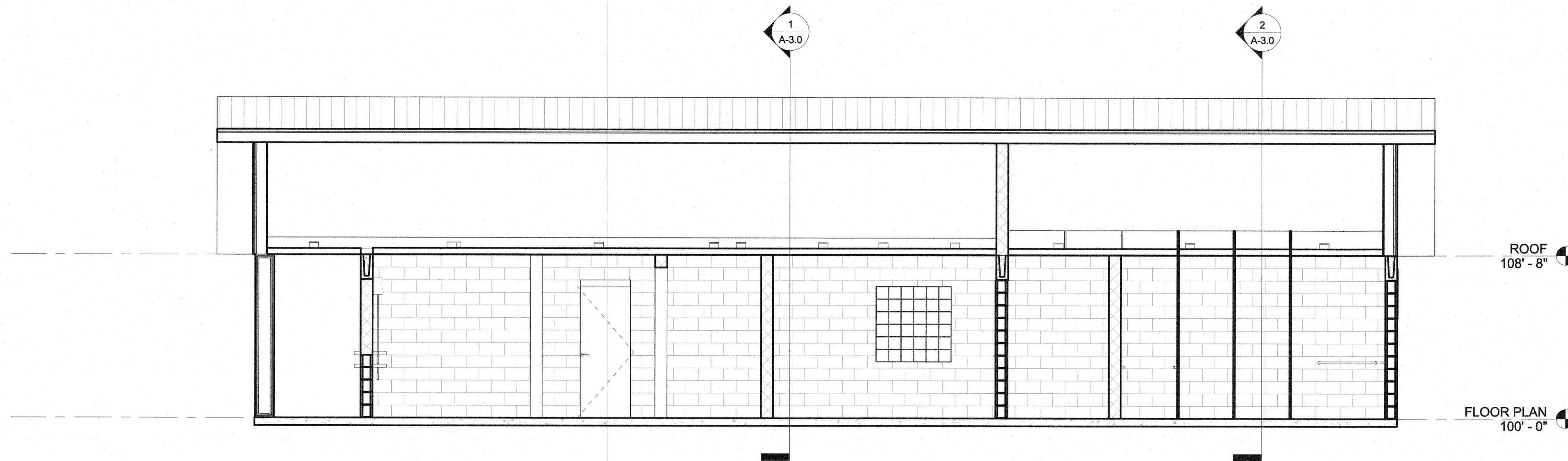
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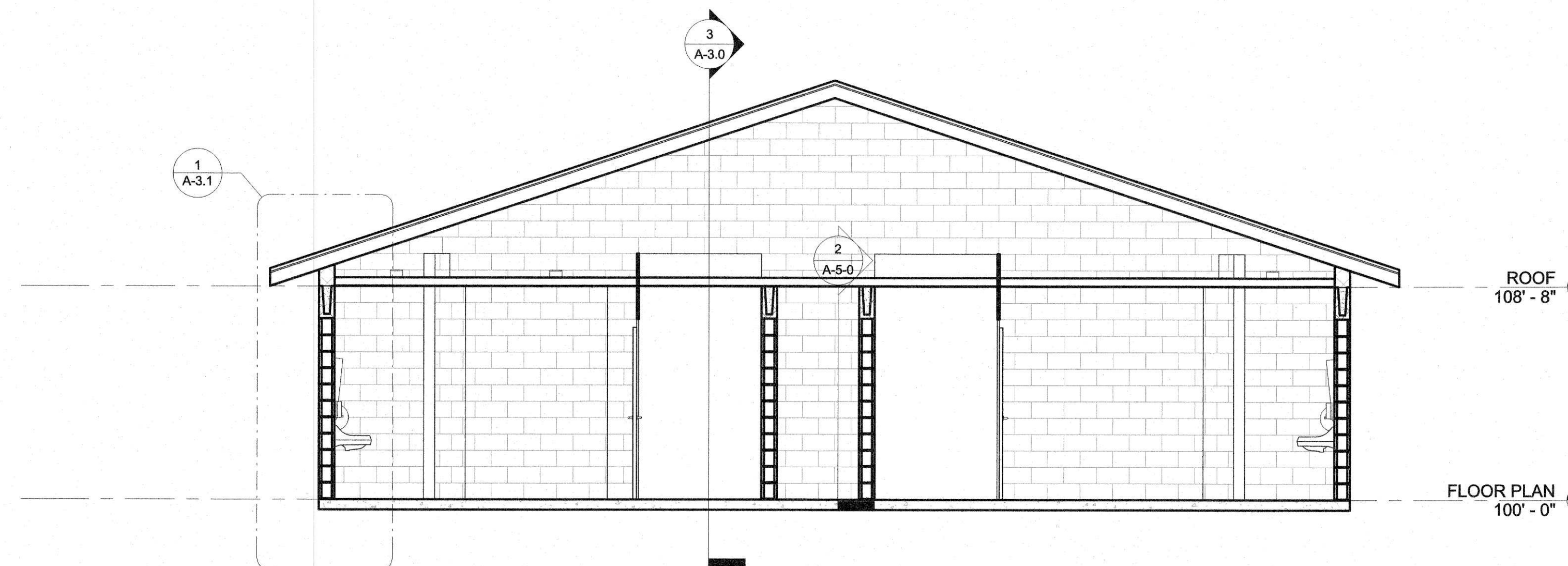
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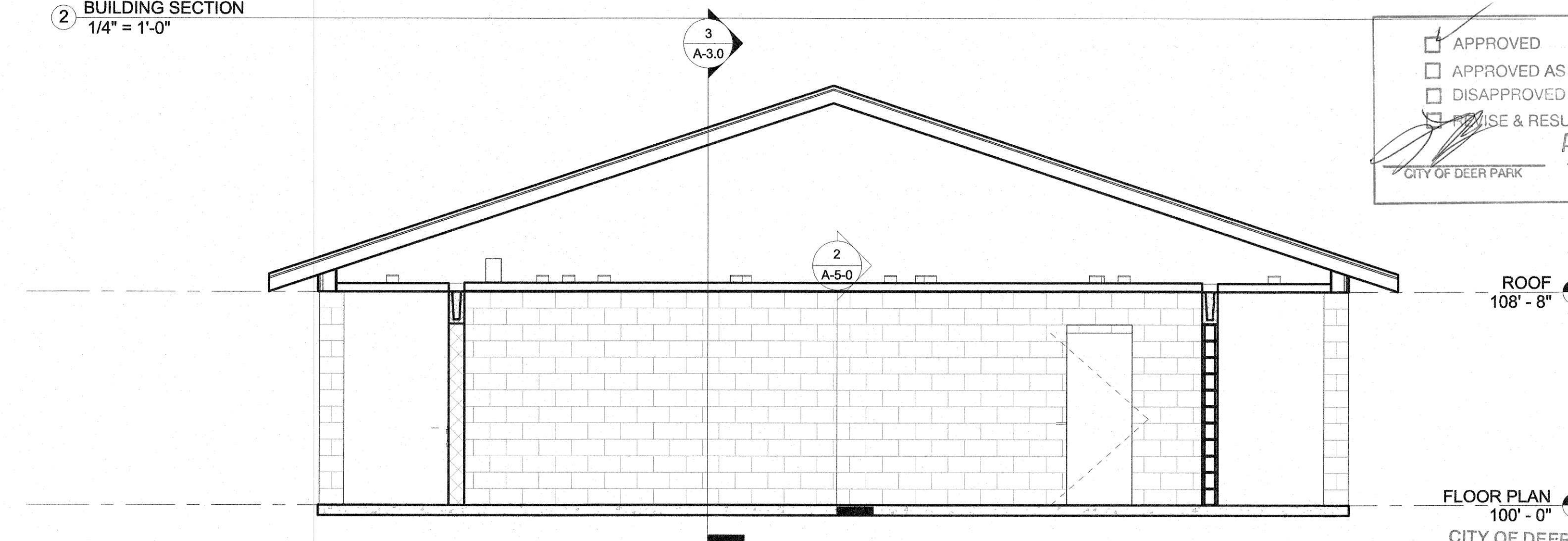
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3 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"

| | |
|-------------------------------------|-------------------|
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5

4

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1



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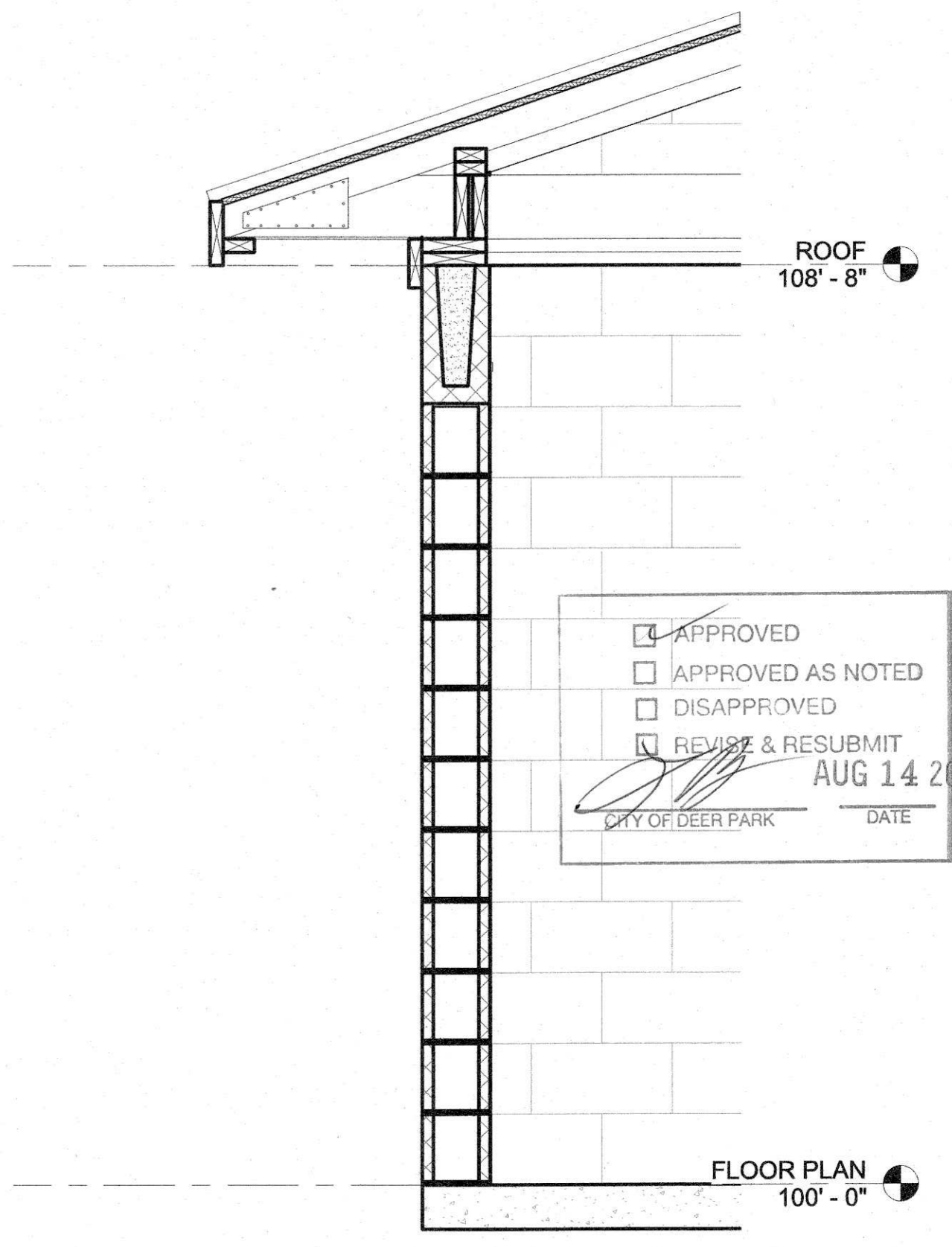
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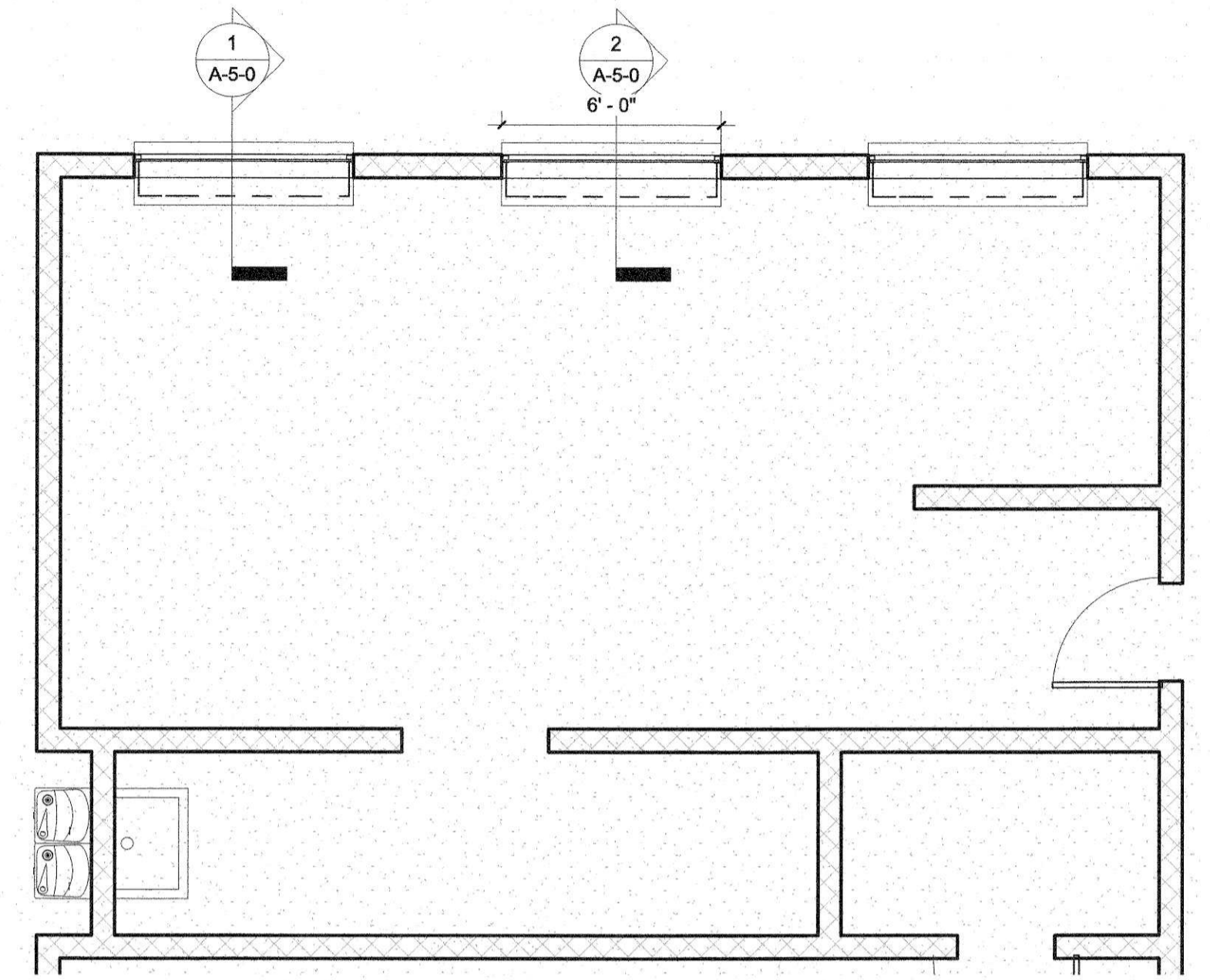
① WALL SECTION
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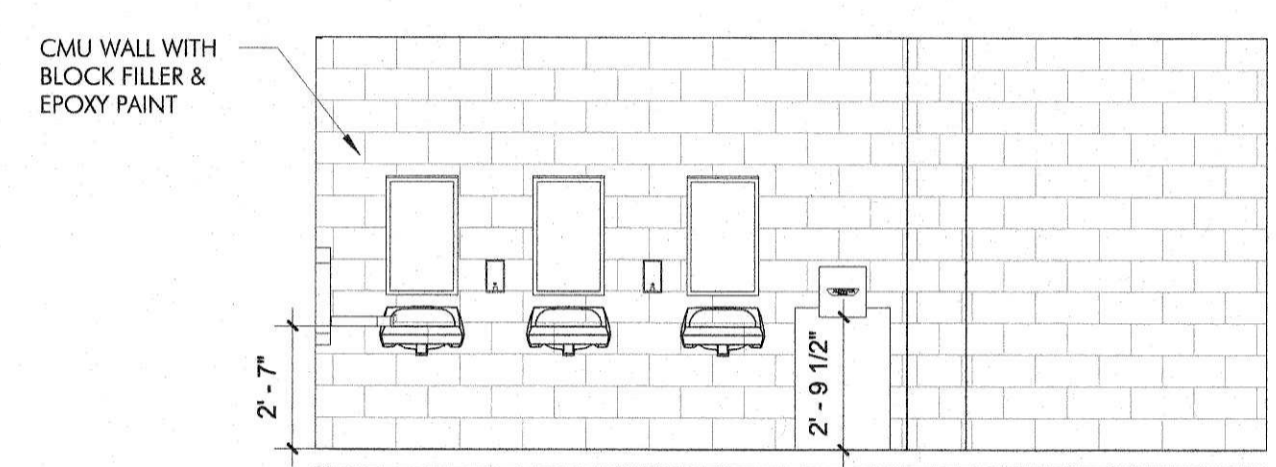


Ryan Hansanuwat
8/3/2017

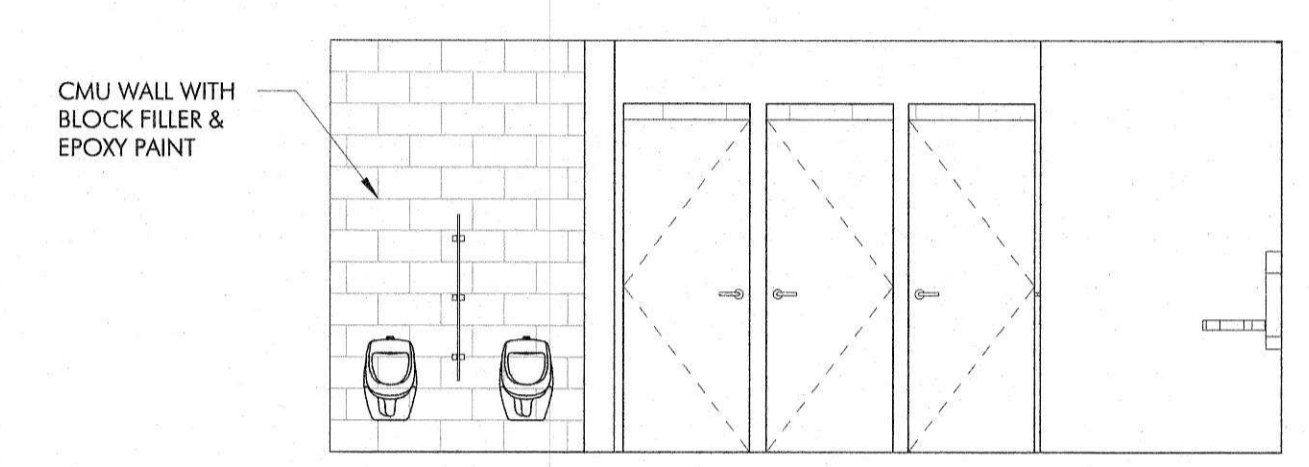


CONCESSION EQUIPMENT PLAN FOR REFERENCE ONLY
1/4" = 1'-0"

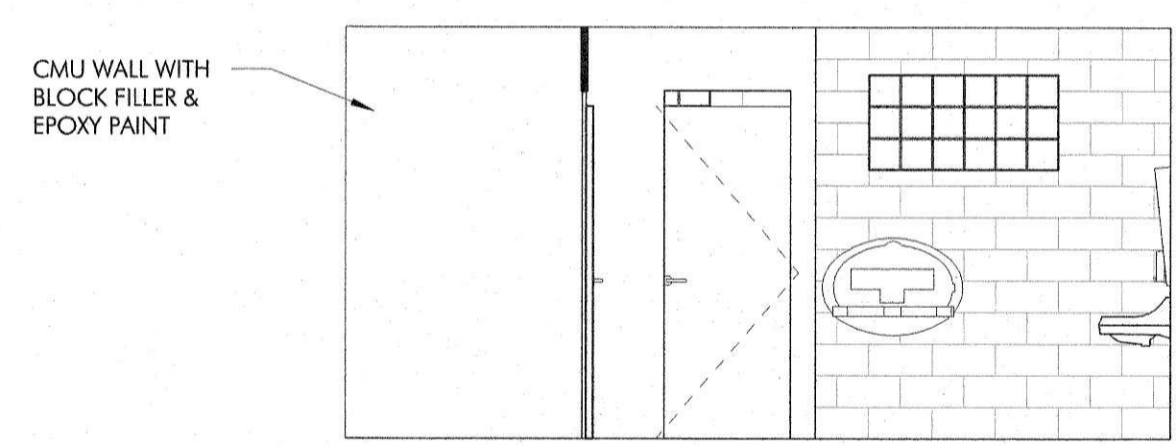
- TOILET ACCESSORIES**
- | | |
|--------------------------------------|--------------|
| TA-1 TOILET TISSUE DISPENSER | BOBRICK TBD |
| TA-2 GRAB BAR 42" | BOBRICK TBD |
| TA-3 GRAB BAR 36" | BOBRICK TBD |
| TA-4 WALL MOUNTED SOAP DISPENSER | BOBRICK TBD |
| TA-5 FRAMED MIRROR 24" X 36" | BOBRICK TBD |
| TA-6 ELECTRIC HAND DRYER | REF PLUMBING |
| TA-7 STAINLESS STEEL PANEL 36" X 24" | BOBRICK TBD |
| TA-8 BABY CHANGING STATION | BOBRICK TBD |
| TA-9 SOLID PLASTIC TOILET PARTITION | BOBRICK TBD |



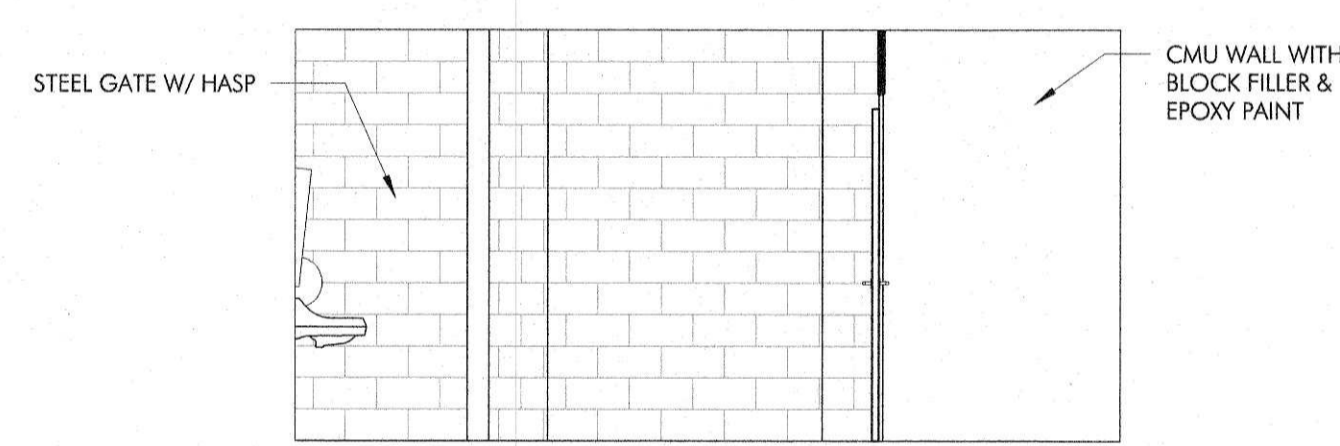
11 INTERIOR ELEVATION
1/4" = 1'-0"



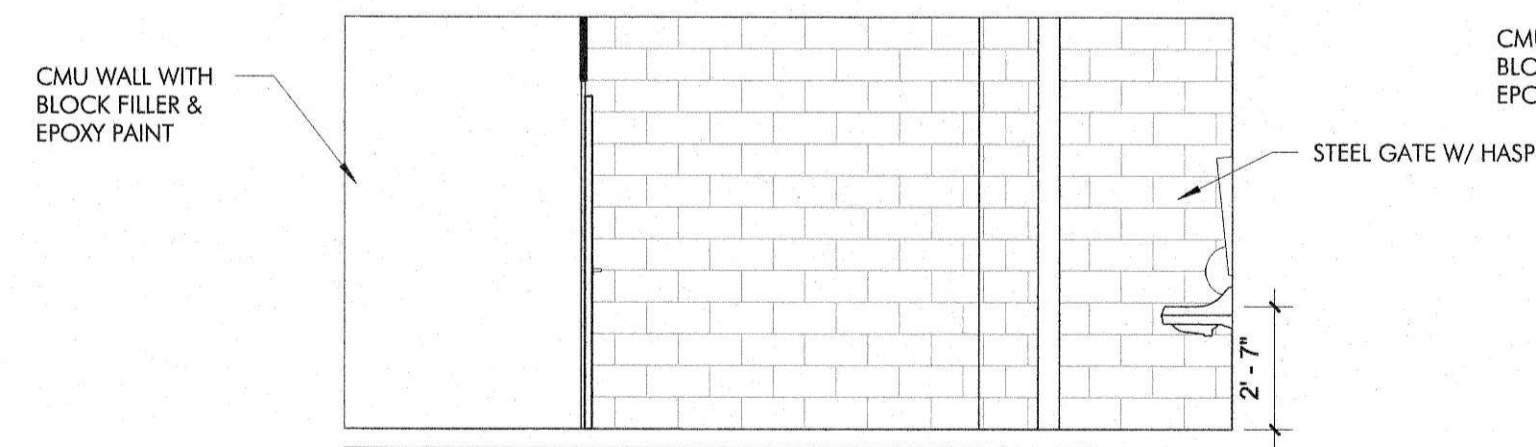
7 INTERIOR ELEVATION
1/4" = 1'-0"



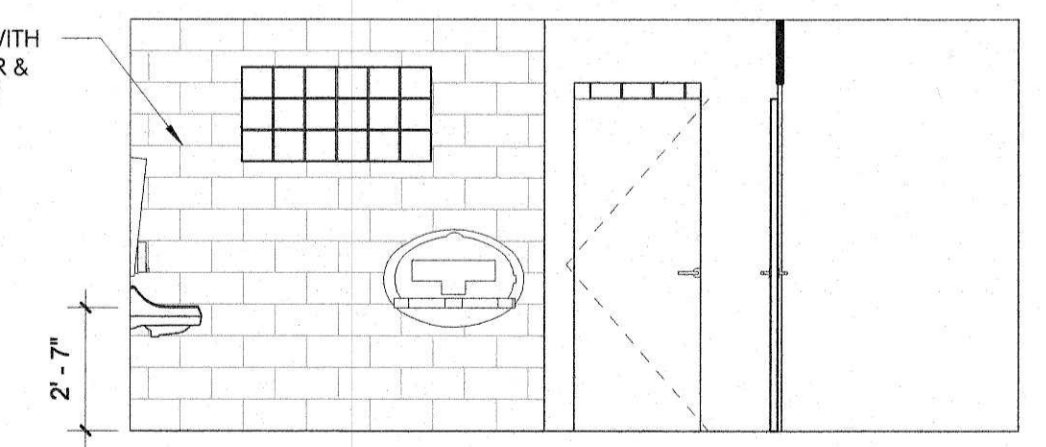
10 INTERIOR ELEVATION
1/4" = 1'-0"



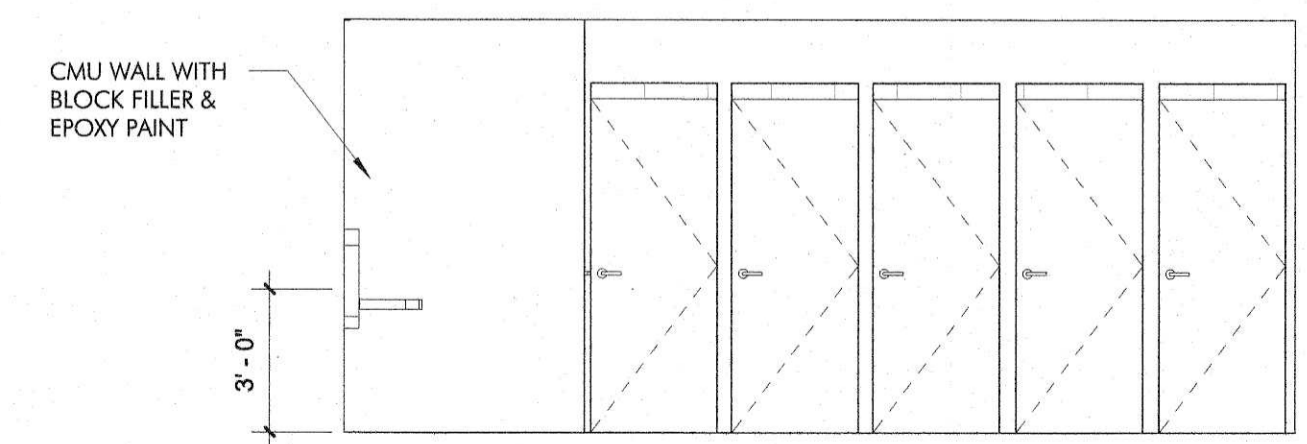
6 INTERIOR ELEVATION
1/4" = 1'-0"



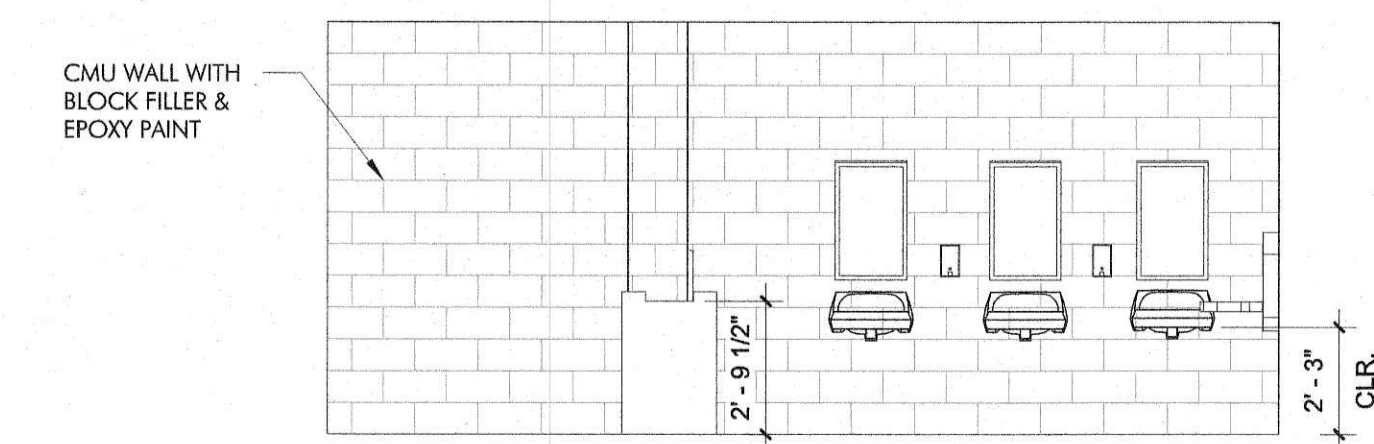
9 INTERIOR ELEVATION
1/4" = 1'-0"



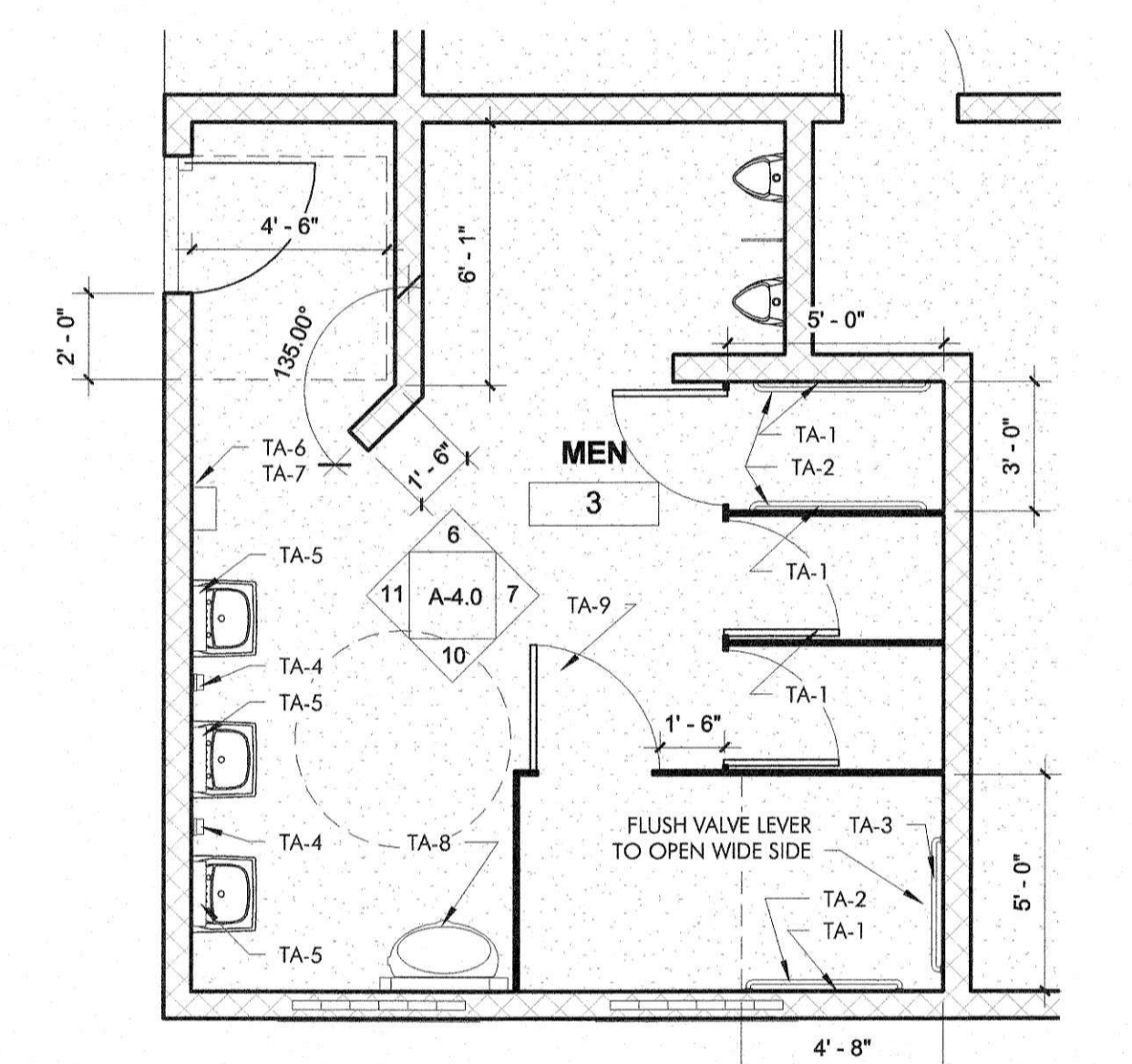
5 INTERIOR ELEVATION
1/4" = 1'-0"



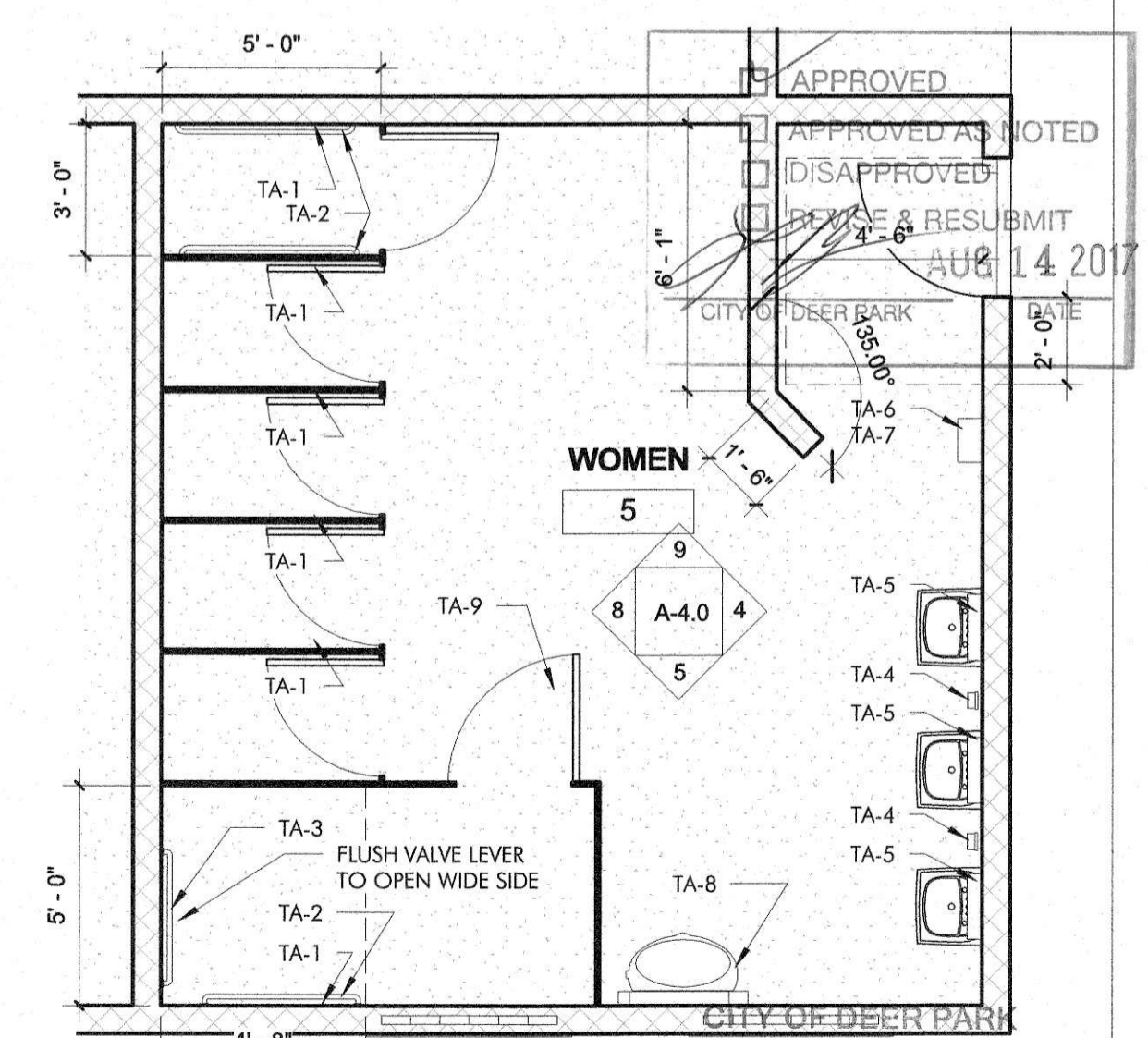
8 INTERIOR ELEVATION
1/4" = 1'-0"



4 INTERIOR ELEVATION
1/4" = 1'-0"



2 ENLARGED MEN'S RESTROOM
1/4" = 1'-0"



1 ENLARGED WOMEN'S RESTROOM
1/4" = 1'-0"

CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
BID - 8/3/17

REVISIONS

| | | |
|---|------------|----------|
| 1 | TAS REVIEW | 4/1/2017 |
|---|------------|----------|

PROJECT NUMBER
16123-00

DATE ISSUED
8/3/2017

SHEET TITLE
ENLARGED PLANS / INTERIOR ELEVATIONS

SHEET NUMBER
A-4.0



Ryan Hansanwa
8/3/2017

CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE

BID - 8/3/17

REVISIONS

1 TAS REVIEW 4/11/2017

PROJECT NUMBER

16123-00

DATE ISSUED

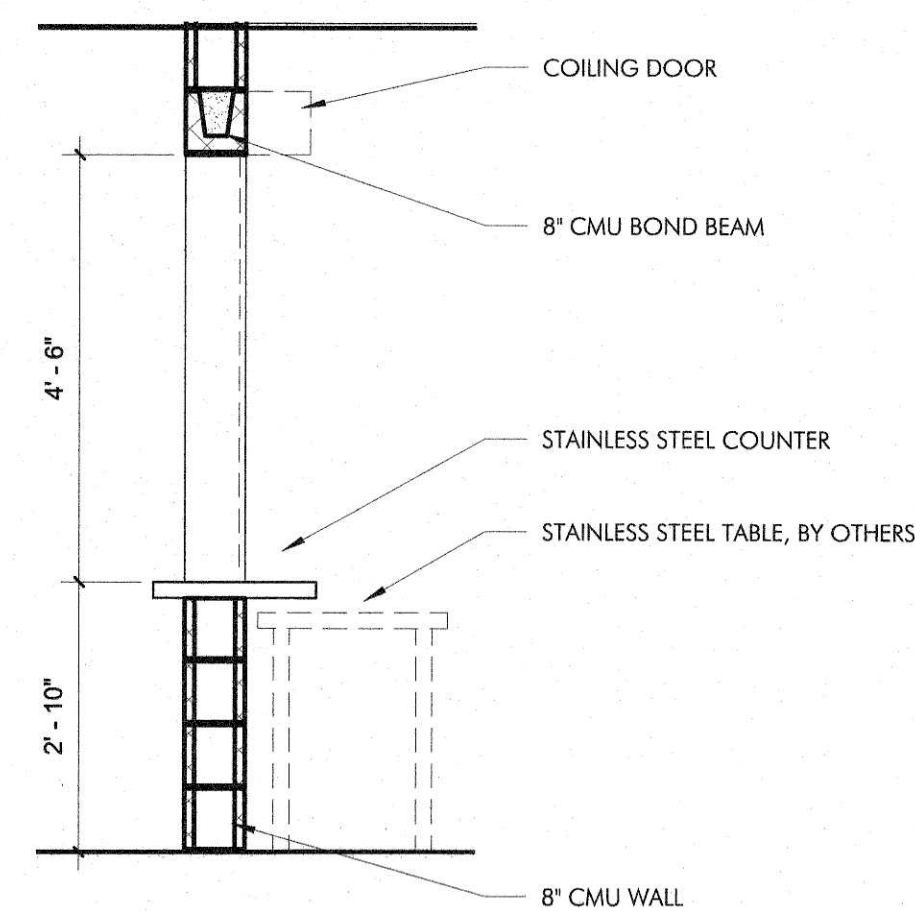
8/3/2017

SHEET TITLE

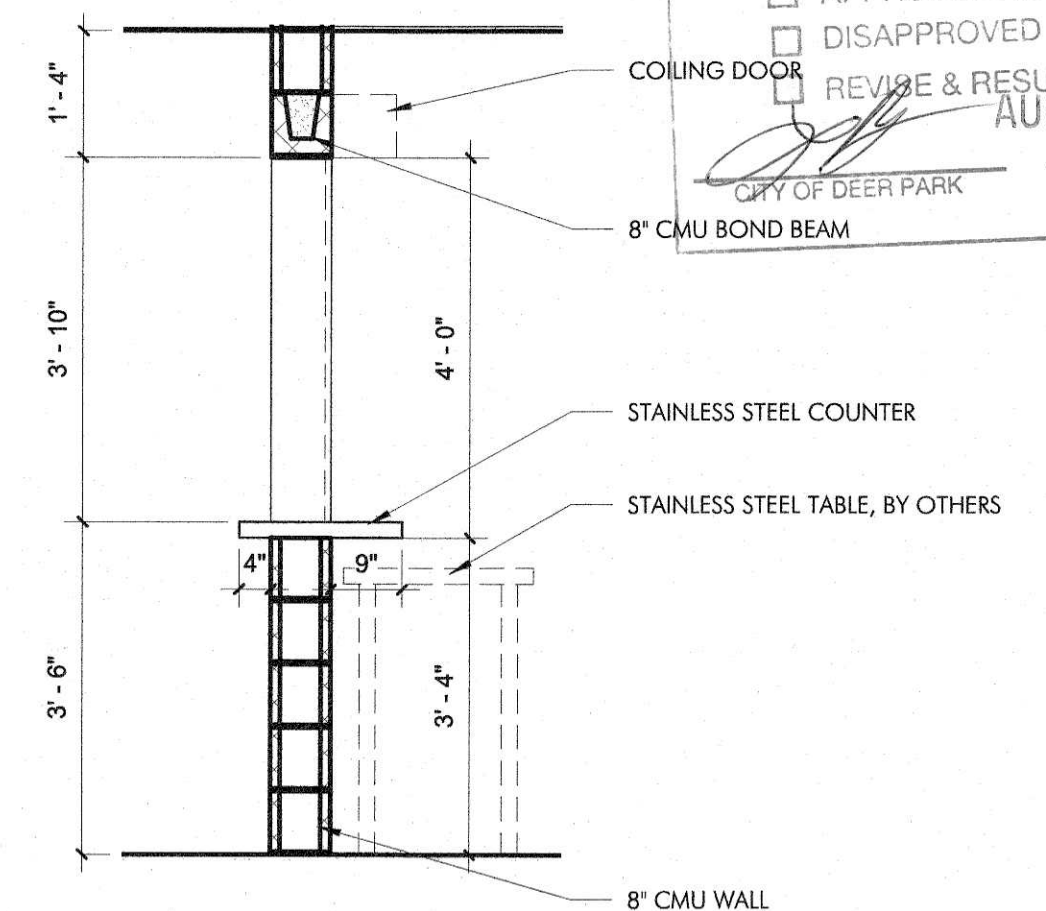
DETAILS

SHEET NUMBER

A-5-0



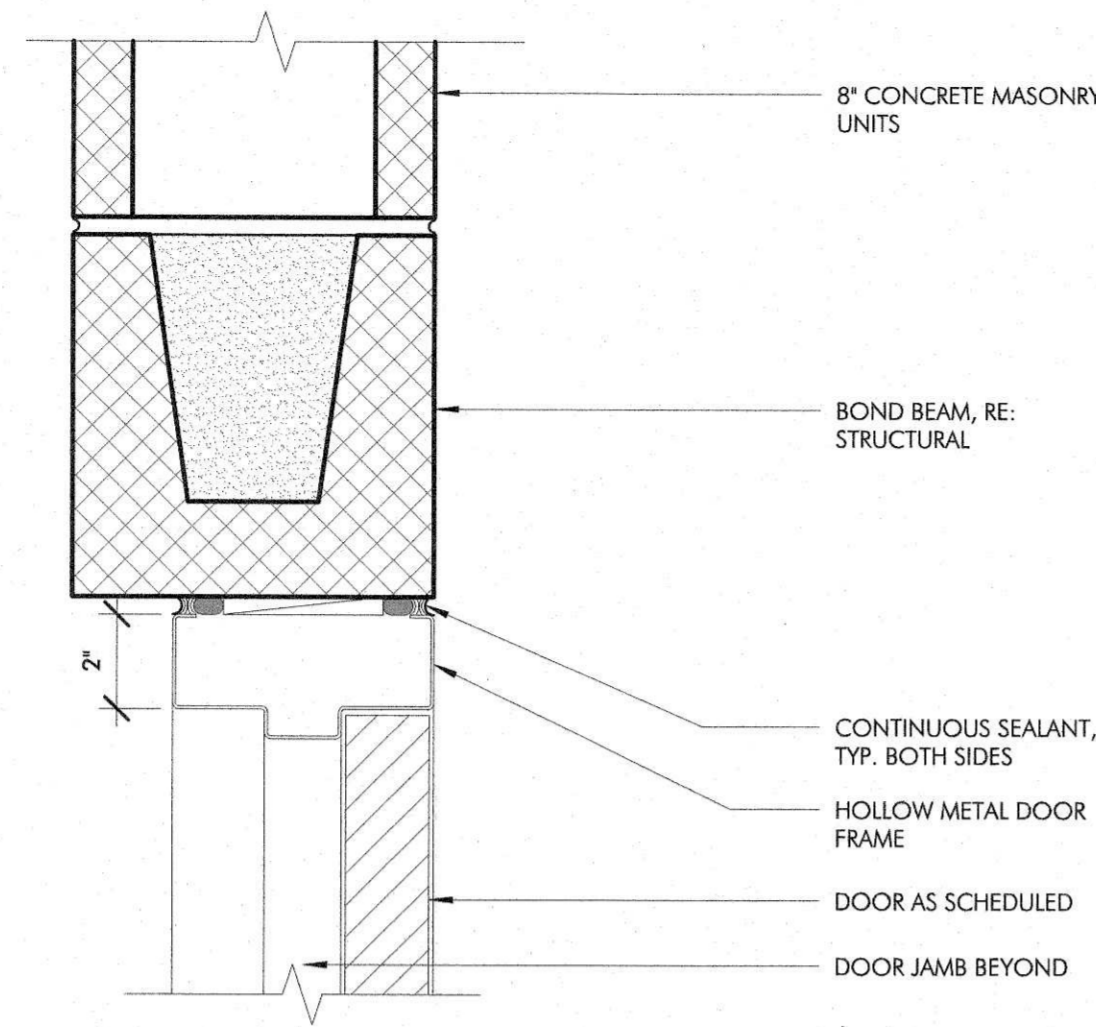
② LOWER COUNTER DETAIL
1/2" = 1'-0"



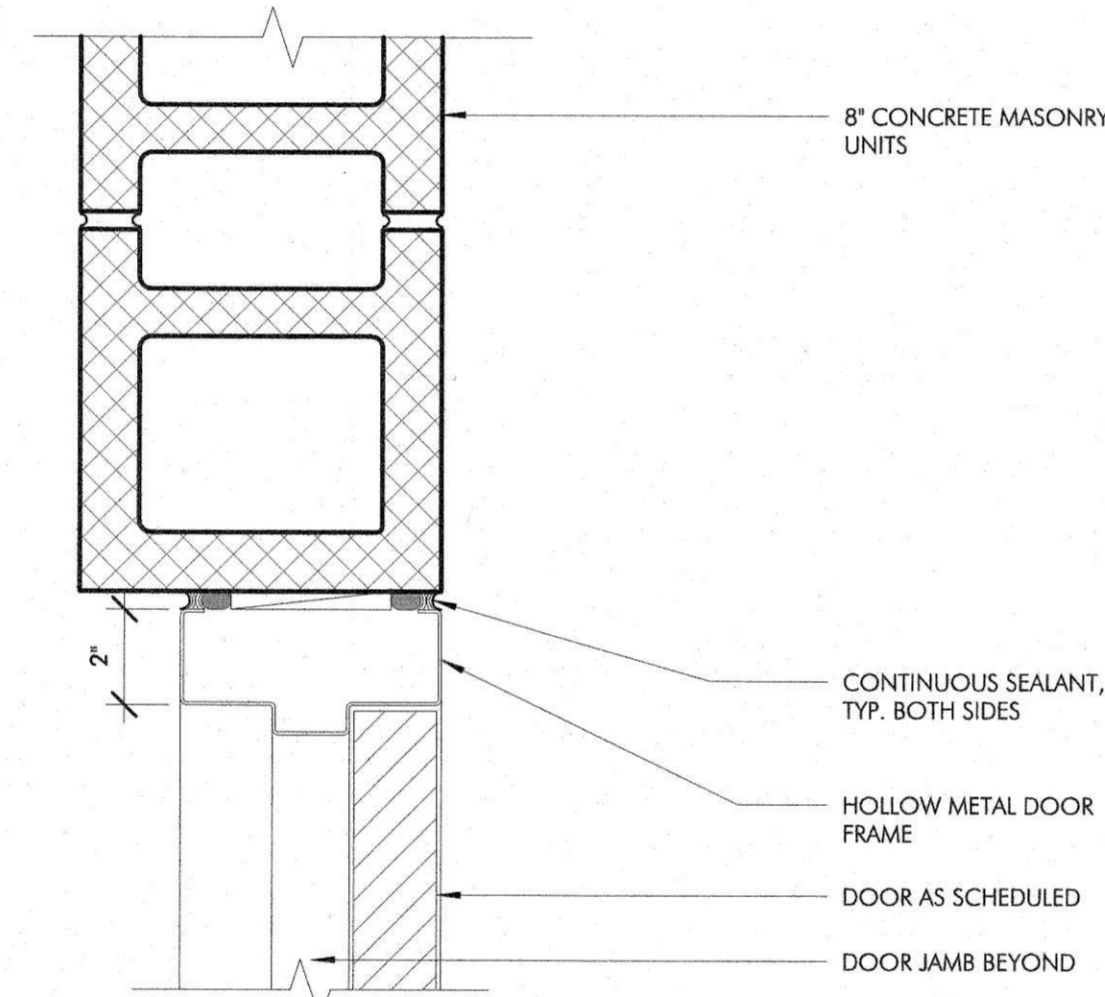
① COUNTER DETAIL
1/2" = 1'-0"

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT
CITY OF DEER PARK
AUG 14 2017
DATE

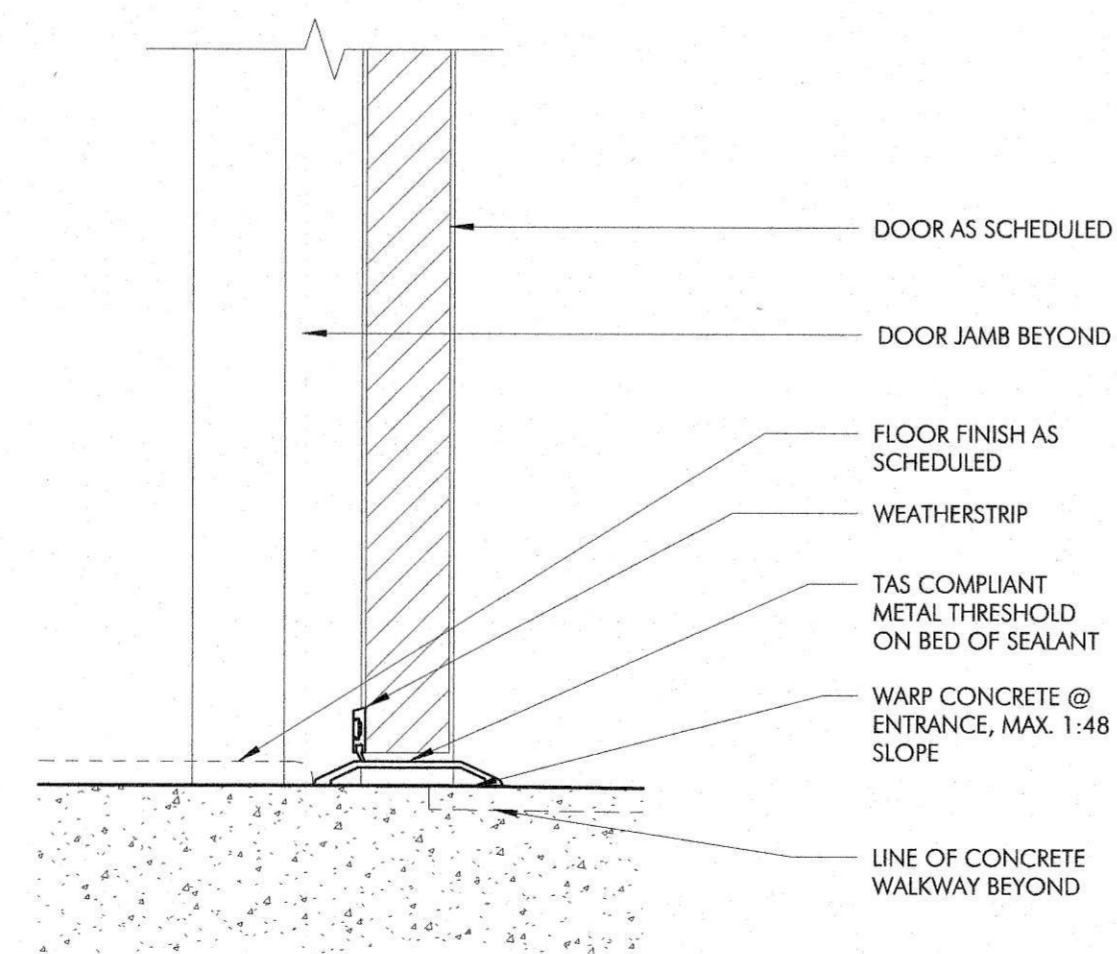
CITY OF DEER PARK
Date Received
AUG 11 2017



5 HEAD DETAIL
3" = 1'-0"

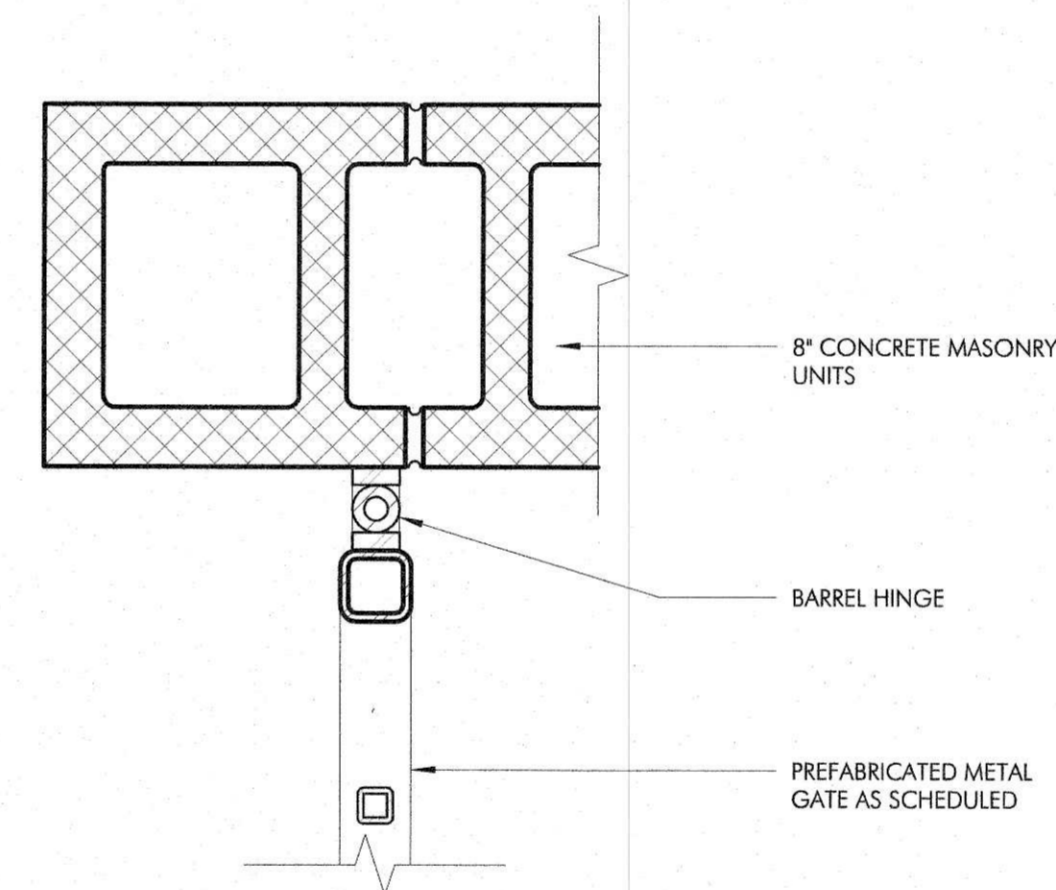


4 JAMB DETAIL
3" = 1'-0"

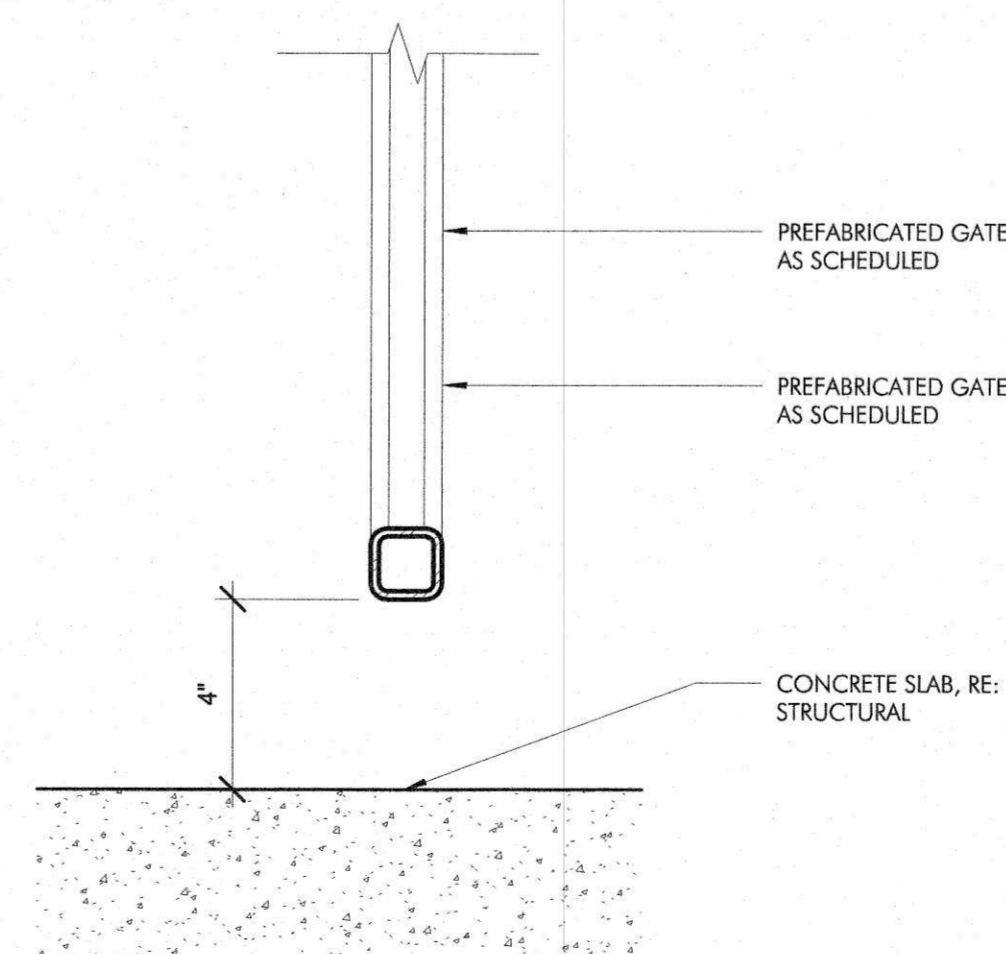


3 THRESHOLD DETAIL
3" = 1'-0"

| MARK | DOOR | | | | | | FRAME | | RATING | COMMENTS |
|------|-------|--------|--------|--------|----------|---------|--------|---|--------------------------------------|----------|
| | WIDTH | HEIGHT | LEAVES | THICK | FINISH | GLAZING | FINISH | | | |
| 101 | 3'-0" | 7'-0" | 1 | 1 3/4" | PAINT | N/A | PAINT | 0 | EXTERIOR HOLLOW METAL DOOR - LOCKSET | |
| 102 | 3'-0" | 7'-0" | 1 | 1 3/4" | PAINT | N/A | PAINT | 0 | EXTERIOR HOLLOW METAL DOOR - LOCKSET | |
| 103 | 3'-0" | 7'-0" | 1 | 1 3/4" | PAINT | N/A | PAINT | 0 | EXTERIOR HOLLOW METAL DOOR - LOCKSET | |
| 106 | 6'-0" | 4'-0" | 0 | 0" | ANODIZED | N/A | N/A | 0 | COILING COUNTER DOOR | |
| 107 | 6'-0" | 4'-8" | 0 | 0" | ANODIZED | N/A | N/A | 0 | COILING COUNTER DOOR | |
| 108 | 6'-0" | 4'-0" | 0 | 0" | ANODIZED | N/A | N/A | 0 | COILING COUNTER DOOR | |
| 109 | 4'-0" | 7'-0" | 1 | 1 3/4" | PAINT | N/A | PAINT | 0 | HOLLOW METAL DOOR - LOCKSET | |
| 110 | 3'-0" | 7'-0" | | 1 3/4" | | | | | | |
| 111 | 2'-8" | 7'-0" | | 1 3/4" | | | | | | |
| 113 | 2'-8" | 7'-0" | | 1 3/4" | | | | | | |
| 114 | 2'-8" | 7'-0" | | 1 3/4" | | | | | | |
| 115 | 3'-0" | 7'-0" | | 1 3/4" | | | | | | |
| 116 | 2'-8" | 7'-0" | | 1 3/4" | | | | | | |
| 117 | 2'-8" | 7'-0" | | 1 3/4" | | | | | | |
| 118 | 2'-8" | 7'-0" | | 1 3/4" | | | | | | |
| 119 | 2'-8" | 7'-0" | | 1 3/4" | | | | | | |
| 120 | 2'-8" | 7'-0" | | 1 3/4" | | | | | | |



2 JAMB DETAIL
3" = 1'-0"



1 THRESHOLD DETAIL
3" = 1'-0"

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISED
 AUG 14 2017
 CITY OF DEER PARK DATE



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Ryan Hansanuwat
8/3/2017

CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
BID - 8/3/17
REVISIONS

PROJECT NUMBER
16123-00
DATE ISSUED
8/3/2017
SHEET TITLE

DOOR SCHEDULE/ DETAILS

SHEET NUMBER
A-6.0

CITY OF DEER PARK
Date Received
AUG 11 2017
ENGINEERING DEPARTMENT

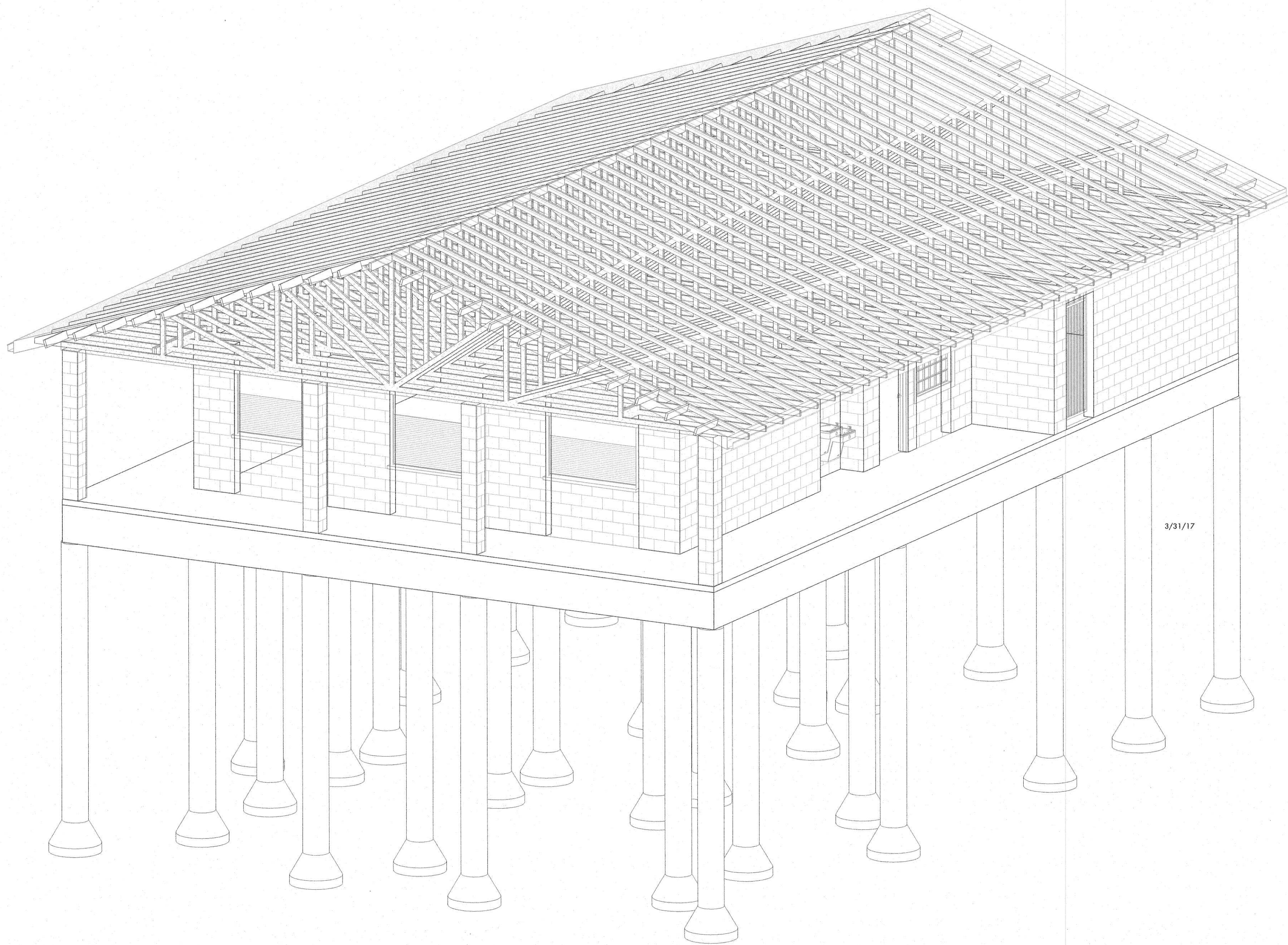
PROJECT VIEW

DRAWING SYMBOLS

| | | | | | |
|--|--|--|---|--|---|
| | LOAD BEARING MASONRY WALL | | EARTH/COMPACT FILL | | 12' X 12' BLOCKOUT FOR PLUMBING, REF. ARCHITECTURAL OR PLUMBING DRAWINGS FOR LOCATION |
| | WOOD BLOCKING | | BEAM SPLICE LOCATION | | CURB STEP |
| | WELDED WIRE FABRIC | | BEAM MOMENT CONNECTION | | TRENCH STEP |
| | SPAN DIRECTION OF HOLLOW CORE SLABS | | PIER DIAMETER/EMBEDMENT INTO LIMESTONE STRATA | | STEP W/ SLOPE |
| | COLUMN GRIDLINE & GRID DESIGNATIONS GRID DESIGNATION | | TILT WALL PANEL NUMBER | | STEP DOWN |
| | DETAIL TARGETS DETAIL NUMBER SHEET NUMBER | | SECTION CUTS SECTION NUMBER SHEET NUMBER | | SLOPE DOWN |
| | ELEVATION TARGET SHEET NUMBER ELEVATION NUMBER | | REVISION CLOUDS REVISED AREA CLOUDED | | EXISTING CONDITION |
| | | | | | MECHANICAL UNIT(S) |

ABBREVIATIONS

| | | | |
|--|---|--|--|
| A A.B. ANCHOR BOLT ALT. ALTERNATE ARCH. ARCHITECTURAL | E E. EAST E.A. EACH SIDE E.S. EACH SIDE ELEV. ELEVATION EQ. EQUAL EXST. EXISTING EXP. EXPANSION EXT. EXTERIOR | L LH LONG LEG HORIZONTAL LVV LONG LEG VERTICAL LL LIVE LOAD | R R. RADIUS R.D. ROOF DRAIN REV. REVISION, REVISED REF. REFERENCE REQD. REQUIRED |
| B B.S. BOTH SIDES BBE. BOTTOM BEAM ELEVATION BKG. BLOCKING BLDG. BUILDING BM. BEAM BOT. BOTTOM BRG. BEARING BSMT. BASEMENT BTWN. BETWEEN BUC. BLOCK | F FD. FLOOR DRAIN FBN. FOUNDATION FTG. FOOTING FUT. FUTURE F.S. FAR SIDE FAB. FABRICATE (OR) F.O.B. FACE OF BRICK | M MIN. MINIMUM MAS. MASONRY MAX. MAXIMUM MANUF. MANUFACTURER MEZZ. MEZZANINE MISC. MISCELLANEOUS M.O. MASONRY OPENING MATL. MATERIAL MTL. METAL | S SCHED. SCHEDULE SIM. SIMILAR SQ. SQUARE STD. STANDARD STL. STEEL STRUCT. STRUCTURAL SPA. SPACER SNOW. SNOW LOAD |
| C C.J. CONTROL JOINT CL. CENTER LINE CLR. CLEARANCE C.M.U. CONCRETE MASONRY UNIT C.B. CONCRETE BLOCK COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONF. CONTIGUOUS C.I.P. CAST IN PLACE COMP. COMPOSITE | G GA. GAGE, GAUGE GALV. GALVANIZED G.C. GENERAL CONTRACTOR G.B. GRADE BEAM | N N. NORTH NTS. NOT TO SCALE N.S. NEAR SIDE N.I.C. NOT IN CONTRACT | T TEMP. TEMPORARY TYP. TYPICAL T.O. TOP OF TBE. TOP OF BEAM ELEVATION TDE. TOP OF DECK ELEVATION TTE. TOP OF FOOTING ELEVATION TSE. TOP OF SLAB ELEVATION T&B. TOP AND BOTTOM T&G. TONGUE AND GROOVE |
| D DET. DETAIL DIA. DIAMETER DIMG. DIMENSIONAL DN. DOWN DWG. DRAWING DBL. DOUBLE D.L. DEAD LOAD D.O. DITTO | H H.C.A. HEADED CONCRETE ANCHOR HORIZ. HORIZONTAL HT. HEIGHT H.S. HEADED STUDS HSS. HEAVY STEEL | O O.C. ON CENTER(S) O.C.E.M. ON CENTER EACH WAY O.S. OUTSIDE OPNG. OPENING OPP. OPPOSITE O.F. OUTSIDE FACE | U UNLOC. UNLOCATED UNO. UNLESS NOTED OTHERWISE |
| | I INFO. INFORMATION IF. INSIDE FACE | P P.C. PRECAST CONCRETE P.F. PERIMETER P.J. PANEL JOINT PL. PLATE PLF. POUNDS PER LINEAR FOOT PMB. PRE-ENGINEERED METAL BUILDING PROJ. PROJECTION PSF. POUNDS PER SQ. FOOT PSI. POUNDS PER SQ. INCH P.T. PRESSURE TREATED | V VERT. VERTICAL |
| | J JT. JOIST JJ. JOINT J/BRG. JOIST BEARING | Q QTY. QUANTITY | W W. WEST W. WITH W.P. WORK POINT W.W.F. WELDED WIRE FABRIC |
| | K KIP. KIP K.O. KNOCK-OUT K.S.I. KIPS PER SQ. INCH | | |

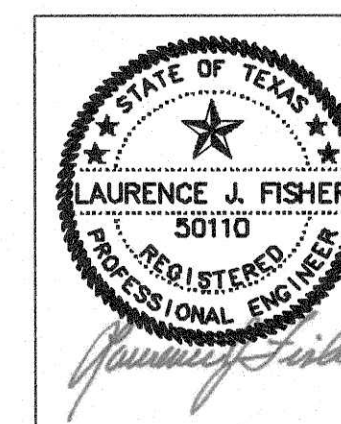


DRAWING INDEX

- S000 STR SHEET INDEX
- S001 STRUCTURAL NOTES
- S100 FND/FRM PLAN
- S200 FOUNDATION DETAILS
- S300 FRAMING DETAILS

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT

 CITY OF DEER PARK
 DATE: AUG 14 2017



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 TBPB Registration No. F-12702
 JOB NO. 17011
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"Bringing Structure to the World"



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CONCESSION / RESTROOM BUILDING

PROJECT A - SOCCER FIELD DEVELOPMENT PHASE 1
 EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE

Project Status

REVISIONS

CITY OF DEER PARK
 Date Received

AUG 11 2017

ENGINEERING DEPARTMENT

PROJECT NUMBER

17011

DATE ISSUED

03-20-2017

SHEET TITLE

STR SHEET INDEX

SHEET NUMBER

S000

STRUCTURAL NOTES

I. DESIGN DATA

| A. BUILDING CODE | |
|---|---|
| INTERNATIONAL BUILDING CODE 2012 EDITION WITH CITY OF DEER PARK, TX AMENDMENTS. | |
| B. DESIGN LOADS | |
| 1. Wind Load | Exposure Category II Design Wind Speed 150 MPH Risk Category II |
| 2. Roof Loads | Live Load (LL) 20 PSF** Dead Load (Design) (D.L.) 20 PSF |
| 3. Floor Loads | Live Load 80 PSF* Dead Load (Superimposed) 5 PSF Partitions 20PSF Storage Mezzanines 100 PSF |
| 4. Stairs, public corridors & Lobbies (L.L.) | 100 PSF |
| 5. Internal Pressure Coefficient | 0.18 PSF |
| 6. Seismic Zone | A |
| 7. Site Class | C |

*Reduced Per I.B.C. SEC. 1607.9
**Reduced Per I.B.C. SEC. 1605.3

The contractor shall verify all dimensions and shall coordinate all structural plans and details with the architect before starting work. The engineer shall be notified of any discrepancies prior to construction.

The structural systems of the floor and roof are designed to perform as a complete unit. During demolition and repair of these structures, structural components may be unstable and it is the responsibility of the contractor to provide temporary shoring and/or bracing as required for the stability of the incomplete structure and for the safety of all on-site personnel.

C. ALTERNATE DESIGNS

Alternate structural systems & details will only be considered, provided they are submitted with calculations certified by a Professional Engineer Registered in the State of Texas. The calculations must show the equivalency of the alternate & acceptance of the alternate by the engineer must be in writing.

D. FUTURE EXPANSION

This project is not designed for future expansion.

E. ROOF SLOPE

The roof has not been designed for ponding based on a roof slope of 3" per foot, or greater.

The contractor to verify all conditions at the jobsite and report any discrepancies to the engineer prior to start of any construction.

II. SITE WORK

A. SOIL REPORT

1. Foundations, retaining & basement walls, foundation drainage, slabs on grade & other items related to the soils are designed & shall be constructed in accordance with the recommendations of QC Laboratories, INC. REPORT NO. 16G13570 DATED January 2017.

2. Design net soil bearing capacity is as follows:
Piers 1,800 PSF

BUILDING PAD PREPARATION (Slab-On-Grade Area)

- Remove all remaining vegetation, surficial clay soil, uncontrolled fill and obstructions from the existing surface of the site to a minimum of 5'-0" outside the building lines to a minimum of 36" below existing grade.
- Proof roll exposed subgrade and re-compact soil soft areas.
- Construct a compacted base of select fill overlying the existing soil with a minimum thickness of 36 inches below the bottom of the slab. The select fill shall be in compliance with the specifications in item 4 below.
- Bring building areas to planned grade using off-site fill selected and compacted in accordance with the following:

- Gradation Per Geotechnical Report.
- Plasticity Index Material used for the granular fill shall have a plasticity index between 4 and 20.
- No organic matter is permitted.
- Compaction Compact the material to meet Geotechnical Report requirements. Hold water content during compaction to -2% to +2% of laboratory optimum and compacted lift thickness of 8 inches maximum.
- Approval All select fill material shall be approved by the Engineer prior to it being used on the project.

III. DRILLED PIERS

- Drilled piers shall be excavated, cleaned, reinforced and concrete placed on the same day.
- Temporary steel casing may be required during the installation of drilled piers (see Geotechnical Report).
- Foundation conditions noted during construction which differ from those described in the Geotechnical Report shall be reported to the Architect, Structural Engineer and Geotechnical Engineer before further construction is attempted.
- General Contractor shall notify the Architect and Structural Engineer 24 hours prior to placement of concrete in the piers.
- Grade beams shall be formed and cast to insure 8" deep void below beam prior to installations of soil retainers.

IV. FORMS

1. Materials:

- Lumber: All lumber and plywood used in the construction of forms for concrete shall be sound, clean and free of surface imperfections, and of sufficient size and thickness to rigidly support the loads involved.
- Plywood: Form plywood shall be sound and free of surface imperfections, and shall be manufactured with exterior glue suitable for use in forming concrete.
- Accessories: Form ties, clamps and other accessories shall be of such type, size, etc. as will safely support the loads to be encountered. Accessories on exposed faces shall be such as will not leave exposed metal on concrete face.
- Form Coating: Equal to Sonneborn Formsover.

2. Application:

- The contractor shall employ an experienced surveyor to supply all necessary lines and levels to insure that all finished concrete work is properly located, straight, true and square.
- All vertical concrete surfaces shall be formed with wood, including edges of walks, slabs on grade, steps on grade and exposed portions of grade beams. If the earth will stand vertical and firm during excavating and concreting, no forms need to be constructed for concrete below grade.
- Form construction and removal shall conform to the recommendations and requirements of the appropriate sections of ACI Standard 347 and ACI Code 318, latest versions. All form work shall be placed straight, level, plumb and true to line, sufficiently supported, braced and tied to rigidly support the loads involved without movement, and constructed to maximize resistance to shortening of the member. All joints in form work shall be tight and neat to prevent leakage or irregularities in exposed surfaces.
- The contractor shall check with all other trades and make certain that all piping, conduit, sockets, inserts, sleeves, anchors, bolts, etc., required by the various trades are properly placed and supported to prevent movement during concreting.
- The contractor shall obtain the Architect's and the Engineer's review and okay before placing any structural concrete, giving at least 48 hours notice before pours are scheduled. Obtain the Architect's approval before pouring non-structural concrete.
- The contractor shall construct form work to adequately support pressure from the wet concrete. Reinforcing shall be installed to the Engineer's satisfaction before placing concrete.
- Thoroughly clean all form surfaces in contact with concrete and coat with approved form coating. Oiled forms shall not be used for exposed concrete surfaces which are later to be plastered or rubbed.
- Leave all form work in place for a time consistent with recommendations of the American Concrete Institute. In general, the perimeter vertical beam forms may be removed within 24-28 hours after concrete is placed. Should inconsistencies and/or irregularities on the lines, levels or plumb of the concrete occur, the contractor shall make such corrections as the engineer directs, without extra cost to the owner.

V. REINFORCING MATERIAL PROPERTIES

| 1. REINFORCING PROPERTIES | FY, KSI | ASTM |
|--------------------------------|---------|------|
| A. All bars unless noted | 60 | A615 |
| B. Ties & stirrups | 60 | A615 |
| C. Welded wire fabric (smooth) | 65 | A185 |
| D. Post-tensioning strand | 270Fpu | A416 |
| E. Pre-stressing strand | 270Fpu | A416 |
| F. Weldable rebar | 60 | A706 |

VI. EXPANSION AND CONTROL JOINTS

- Control joints are to encompass an area not greater than 400 sq. ft. The minimum distance between control joints is 15'-0". Control joints shall be placed at mid span between grade beams parallel to control joint. Contractor shall submit control joint layout plan for review by architect and engineer prior to construction of slab.

VII. CAST-IN PLACE CONCRETE

1. Materials

- Cement: Portland Cement shall conform to the standard specifications for Portland cement, ASTM Designation C-150, latest version Type I or Type III.
- Concrete Aggregates: Concrete aggregates shall conform to the specifications for Concrete Aggregates, ASTM C-33, latest version Type I or Type III.
- Water: Water shall be clean, potable and free of injurious amounts of acids, alkalis or organic materials.
- Ready Mixed Concrete: Ready Mixed Concrete shall conform to ASTM Specifications C-94, latest version.
- Expansion joints (if shown): Pre-molded joint filler shall consist of asphalt vegetable fiber and mineral filler between two sheets of asphalt saturated paper and shall meet the requirements of ASTM Specification D-994, latest version.
- Admixtures: Chemical compounds shall be used as an Admixture to control plastic shrinkage, improved workability and entrain 3 to 5% air. The Admixtures shall contain no chlorides, fluorides or nitrates and shall be formulated by the manufacturer for the job area and weather conditions to control setting time. Admixtures shall conform to ASTM Specifications C-260 and C-494, latest versions. The Admixtures intended for use shall be submitted to the Engineer for approval before any actual mix is made.

- Place concrete in compliance with practices and recommendations of ACI 304.
 - Cold Weather Placing: Comply with ACI 306.
 - Hot Weather Placing: Comply with ACI 305.
 - Batching, Mixing & Delivery: Comply with ACI C94.
- ALL CONCRETE SHALL BE CONSOLIDATED BY USE OF A MECHANICAL VIBRATOR.
- The maximum time interval between the addition of mixing water and/or cement to the batch, and the placing of the last of the concrete batch in the forms shall not exceed ninety (90) minutes for ambient temperatures below 90 degrees and sixty (60) minutes for ambient temperatures of 90 degrees and above.
- No concrete shall be placed where the concrete temperature exceeds 90 degrees Fahrenheit, before any water is added to the job site.
- Reinforcing bars shall be designed, fabricated and placed in accordance with the latest ACI Specifications.
- Continuous reinforcing bars shall have a minimum lap of 40 diameters or 24", whichever is greater.
- Provide corner bars for all continuous reinforcing bars at all corners with minimum lap of 40 diameters or 24", whichever is greater.
- Welded Wire Fabric (W.W.F.) shall conform to ASTM A185.
- Non-shrink grout shall be ready-to-use metallic aggregate product requiring only additions of water at the site, and shall have the following attributes:
 - Be capable of producing a flowable grouting material having no drying shrinkage or settlement at any age.
 - The compressive strength of the grout (50mm or 2" cubes) shall be not less than 5,000 psi at age 28 days. Store, mix and place non-shrink grout in strict accordance with manufacturer's recommendations, as approved by the Engineer.
- Provide 1/2" pre-molded expansion joints where new concrete walls about the building, existing curbs and walks.
- Deposit concrete continuously or in layers of such thickness that no concrete will be placed on concrete which has hardened sufficiently to form seams or planes of weakness within the section.
- Where a section cannot be placed continuously, provide construction joints as approved by the Engineer.
- Place concrete at such a rate that concrete which is being integrated with fresh concrete is still plastic.
- Deposit concrete as nearly as practicable in its final location to avoid segregation due to re-handling and flowing. Do not subject concrete to any procedure which might cause segregation. Do not use mechanical vibrators to move concrete.
- Screed concrete which is to receive other construction to the proper level to avoid excessive shrinking and grouting.
- Do not use concrete that has become non-plastic and unworkable, or does not meet the required quality control limits or which has been contaminated by foreign materials.
- Do not re-temper concrete after initially obtaining the proper slump on any load of concrete.
- All reinforcing shall be supported on metal supports and securely tied to prevent movement during concreting.
- All concrete shall be designed and constructed in accordance w/ IBC Chapter 19 & ACI-318, latest editions.
- Provide extra reinforcing on each face around all openings 24" or larger in all slabs & walls equal to half the interrupted reinforcing bars on each side but not less than 2 #5 bars with Class B lap but not less than 2 feet beyond edge openings.
- Provide a 3/4" chamfer on all exposed corners of concrete.
- The following minimum concrete cover shall be provided for reinforcement:

| | MINIMUM COVER IN |
|---|------------------|
| A. Concrete cast against & permanently exposed to earth: | 3" |
| B. Concrete exposed to earth or weather: #6 THRU #18 bars | 2" |
| #5 & smaller bars | 1-1/2" |
| C. Concrete not exposed to weather or in contact with ground: slabs & walls: #14 & #18 bars | 2" |
| | |
| Beams & Columns: Primary reinforcement, ties & stirrups | 1" |
- If any ponds, trees wells or abrupt grade changes occur within 5'-0" of perimeter grade beam, the grade beam must be extended a minimum of 12" below the lowest elevation of the grade change.
- Under-slab vapor barrier shall be StegoWrap 15 mil. Or equal. Vapor retarder shall be installed in accordance with manufacturer's specifications.
- All anchor bolts and shearwall hold down bolts are to be "wet set". Do not drill any epoxy set hold down or anchor bolts.

VIII. CONCRETE MATERIAL PROPERTIES

| 1. CONCRETE PROPERTIES: | F'c PSI 28 DAYS | SLUMP INCHES |
|--|-----------------|--------------|
| A. Footings, piers, grade beams & foundation walls | 3000 | 4 ± 1 |
| B. Interior slab on grade | 3000 | 5 ± 1 |
| C. Exterior slab on grade | 3000 | 5 ± 1 |
| D. Tapping & concrete over metal deck | 3500 | 5 ± 1 |

- All exterior concrete shall be air entrained to give the concrete an air content of 6 ± 1% by volume.
- Cast-In-Place concrete shall be regular weight with a minimum compressive strength of 3000 psi at 28 days. The concrete mix design shall have a minimum of 5 sacks of cement for 3000 psi and 5-1/2 sacks for 3500 psi per cubic yard of concrete. The mix design shall be prepared by a testing agency and reviewed by the Engineer prior to placing any concrete. All concrete shall be by one supplier unless approved by the Engineer. The use of Fly Ash is not permitted.
- Concrete shall have a maximum slump of 5" for slabs and 4" for all other concrete.

IX. MASONRY

- All CMU Walls to be reinforced with (1) #5 Vertical at 24" O.C. There shall also be (3) #5 Verticals at each corner, (4) #5 Verticals at each wall intersection and (2) #5 Verticals at each side of each opening, at wall ends and at control joints. There shall be (1) #5 Vertical per CMU block cell at each location noted above with each cell being filled with 3000 psi concrete in 4'-0" lifts maximum.
- All CMU Walls to be reinforced horizontally with 3/16" Dur-O-Wall at 16" O.C. vertically. Dur-O-Wall to be basic bright wire with deformed side rods. Dur-O-Wall to be fully embedded in the mortar with a minimum of 5/8" cover on exterior faces. All splices shall be a minimum of 6". Bend and hook side rods at ends of walls and at openings.
- Mortar shall be Type S, with a minimum compressive strength of 1800 psi at 28 days.
- Control joints shall be placed at a minimum of 24'-0" spacing and at either side of each opening 6'-0" or greater or one side of other openings. Each control joint shall be properly reinforced to provide lateral support.
- Bond Beams shall be placed at the floor and roof level and at a maximum vertical spacing of 8'-0". The bond beam shall consist of an 8" CMU with (1) #5 continuous and filled with 3000 psi concrete as specified in NOTE VII, CAST IN PLACE CONCRETE.

X. FRAMING

- All bolts shall be ASTM A-307.
- All beam header, rafter and ceiling joist framing lumber shall be No. 1 grade Southern Pine Kiln Dried or better. All column lumber shall be No. 1 Douglas Fir Kiln-Dried or better.
- All wood connector and hangers shall be as manufactured by Simpson Strong-Tie Co. or equal.
- All connectors or hangers for pressure treated material shall be stainless steel.
- All exterior walls and interior shear walls shall be sheathed with a minimum of 7/16-24/48 C-D Exterior Plywood or OSB. Attach to framing with 10d nails @ 6" O.C.
- All exterior walls and interior shear walls shall be anchored to the foundation with 1/2" x 12" anchor bolts at 48" O.C.
- All roofs shall be decked with 5/8" 48/24 C-D Exterior Plywood nailed with 6d nails at 6" O.C. at all supports.
- All wall framing shall be #2 Southern Yellow Pine or better.
- All roof joists and ceiling joists shall be #2 Southern Yellow Pine or better.
- No holes, notches or other cuts shall be made in any beam, joist, rafter or other framing member without written approval by the engineer.
- No hole larger than 1" in diameter will be allowed in any load bearing or any exterior wall stud. 1" diameter and smaller holes shall be located on the centerline of the wide axis and spaced no less than 6" O.C. No other holes will be allowed without the written approval of the engineer.

XI. ROOF TRUSSES

LOADING: Top Chord Dead Load = 10 psf
Top Chord Live Load = 20 psf
Bot Chord Live Load = 0 psf
Uplift = 0 psf
Duration Factor of 100%

Trusses shall be Designed and Manufactured to be Equal to that Manufactured by Alpine Engineered Products, Inc. All trusses shall be engineered for the loading indicated and the manufacturer shall submit sealed engineering drawings for each truss type and length.

XII. USE AND/OR RELEASE OF STRUCTURAL ENGINEERING ELECTRONIC FILE

The electronic files for the structural engineering documents will not be released for shop construction or for the preparation of shop drawings or submittals. Each supplier or fabricator is responsible for reproducing the information required for their submittal. The duplicating of any part of these documents for inclusion in shop drawings or submittals is also prohibited.

XIII. DETAIL NOTES

Details noted as typical shall apply in all cases unless specifically shown or noted otherwise.

XIV. STRUCTURAL REQUIREMENTS FOR SUBMITTALS

The following are submittals required by Engineer. Use plans and spec. book for product list.

- Select fill material
- Soil compaction test results
- Reinforcement & concrete accessories including vapor barrier
- Concrete mix design
- Anchor bolts
- CMU block and accessories
- Mortar mix design, grout mix design and test results
- Wood trusses
- Concrete test results

XV. STRUCTURAL REQUIREMENTS FOR SITE VISITS

Site visits for construction observation will not be made by Engineer until all submittals and/or testing results have been reviewed and accepted by the Engineer. Contractor is responsible for scheduling submittals to allow the Engineer adequate time to review and comment before proceeding with construction.

Representative of Engineering 360 will visit the site at the following stages of construction:

- During pier drilling and placement of reinforcing and concrete piers
- After forms, rebar, embeds and other accessories are in place and 72 hours prior to placement of concrete
- All anchor bolts and embeds are to be set and adequately tied & held in position prior to the start of placing concrete
- During construction of masonry wall while all phases of the operation are in progress, including laying up of wall courses, pouring cells and constructing bond beams
- Framing
- After decking is in place and attached to the structure, but prior to covering with floor and roof materials

Please refer to specifications or General Notes for project specific instructions.

Contractor shall issue to the engineer a complete project schedule with the above site visits noted and notify the Engineer a minimum of 48 hours prior to the scheduled visit to confirm time and date required visit. Failure of the Contractor to accomplish this notification will not require the engineer to respond on shorter notice, nor will the Contractor proceed without the Engineer performing appropriate site visit. Additionally if the Contractor requests or schedules a site visit and construction is not at the appropriate stage for the Engineer to perform the proper observations, another site visit will be required and scheduled at the Contractor expense for all time and travel expenses of the engineer or his representative. Engineer will not issue any type or form of compliance or concurrence statement for construction without performing the above noted site observations.

Statement of Special Inspections Per IBC 2012 Chapter 17

Per Section 1704.2.3: The applicant shall submit a statement of special inspection in accordance with Section 107.1 as a condition of permit issuance. The statement shall be in accordance with Section 1704.3.

PROJECT ADDRESS: DEER PARK CITY, STATE: DEER PARK, TEXAS

SECTION 1705: REQUIRED VERIFICATION AND INSPECTION

Section 1705 of the International Building Code 2012, the following is a list of the required special inspections applicable for this project:

| 2012 IBC SECTION | INSPECTION/ ASSURANCE | TYPE OF SPECIAL INSPECTION AND EXTENT | APPLICABLE | NON APPLICABLE |
|------------------|---|---|------------|----------------|
| 1705.2 | AISC 360 | Steel Construction | X | |
| 1705.2.2 | IBC TABLE 1705.2.2 | Steel Construction Other Than Structural Steel | | X |
| 1705.2.2.1.1 | AWS D1.3 | Cold-Formed Welding Inspection | X | |
| 1705.2.2.1.2 | AWS D1.4 and ACI 318 | Reinforced Steel Welding Inspection | X | |
| 1705.2.2.2 | Indicated in Section | Cold-Formed Steel Trusses Spanning 60 Feet or Greater | X | |
| 1705.3 | IBC TABLE 1705.3 | Concrete Construction | X | |
| 1705.4 | Inspection: TMS 420/ACI 530/ASCE 5 Assurances: TMS 602/ACI 530.1/ASCE 6 | Masonry Construction | X | |
| 1705.5 | Indicated in Section | Wood Construction: High-Load Diaphragm/Metal-Plate-Connected Wood Trusses Spanning 60 Feet or Greater | | X |
| 1705.6 | Indicated in Section | Soils | X | |
| 1705.7 | Indicated in Section | Driven Deep Foundations | | X |
| 1705.8 | Indicated in Section | Cast-in-Place Deep Foundations (Piers) | X | |
| 1705.9 | Indicated in Section | Helical Pile Foundations | | X |
| 1705.10 | Indicated in Section | Special Inspection for Wind Resistance | | X |
| 1705.11 | Indicated in Section | Special Inspection for Seismic Resistance | | X |
| 1705.12 | Indicated in Section | Testing and Qualification for Seismic Resistance | | X |
| 1705.13 | Indicated in Section | Sprayed Fire-Resistance Materials | | X |
| 1705.14 | AWCI 12-B | Mastic and Intumescent Fire-Resistance Coatings | | X |
| 1705.15 | Indicated in Section & ASTM E 2570 | Exterior Insulation and Finish Systems/Water-Resistive Barrier Coating | | X |
| 1705.16 | Indicated in Section | Fire-Resistance Penetrations and Joints | | X |
| 1705.17 | Indicated in Section | Special Inspection for Smoke Control | | X |

Special Inspection Reports are to conform to the requirements stated in Section 1704.2.4. Exceptions of Special Inspection as permitted per Section 1704.2.

- Special inspections are not required for construction of a minor nature or as warranted by conditions in the jurisdiction as approved by the building official.
- Unless otherwise required by the building official, special inspections are not required for Group U.
- Special inspections are not required for portions of structures designed and constructed in accordance with the cold-formed steel light-frame construction provisions of IBC Section 2211.7 or the conventional light-frame construction provisions of IBC Section 2308.

Additional Special Inspections shall also be required for proposed work that is, in the opinion of the building official, unusual in nature.

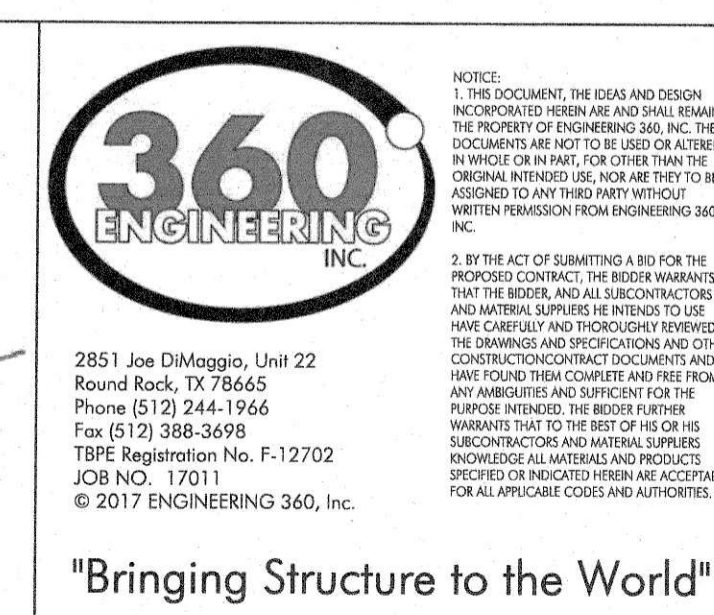
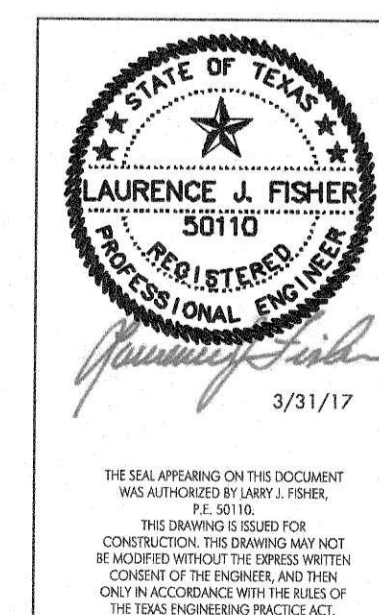
Additional Special Inspection per International Building Code 2012, the following is a list of the required special inspections applicable for this project:

| 2012 IBC SECTION | DETAILS | TYPE OF SPECIAL INSPECTION AND EXTENT | APPLICABLE | NON APPLICABLE |
|------------------|------------------------------|---------------------------------------|-------------------------------------|--------------------|
| 1706 | Design Strength of Materials | | | X |
| 1707 | Alternative Test Procedures | | | X |
| 1708 | Test Safe Load | | <input checked="" type="checkbox"/> | APPROVED AS NOTED |
| 1709 | In-Situ Load Tests | | <input checked="" type="checkbox"/> | DISAPPROVED X |
| 1710 | Preconstruction Load Tests | | <input checked="" type="checkbox"/> | REVISIT & RESUBMIT |
| 1711 | Material and Test Standards | | <input checked="" type="checkbox"/> | AUG 14 2017 |

Per Section 1704.5 Structural Observations:

Prior to the commencement of observations, the structural observer shall submit to the building official a written statement identifying the frequency and extent of structural observations.

At the conclusion of work included in the permit, the structural observer shall submit to the building official a written statement that the site visits have been made and identified any reported noted deficiencies which, to the best of the structural observer's knowledge, have not been resolved.



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CONCESSION / RESTROOM BUILDING

PROJECT A - SOCCER FIELD DEVELOPMENT PHASE 1

EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE

Project Status

REVISIONS

CITY OF DEER PARK
Date Received
AUG 11 2017

ENGINEERING DEPARTMENT

PROJECT NUMBER

17011

DATE ISSUED

03-20-2017

SHEET TITLE

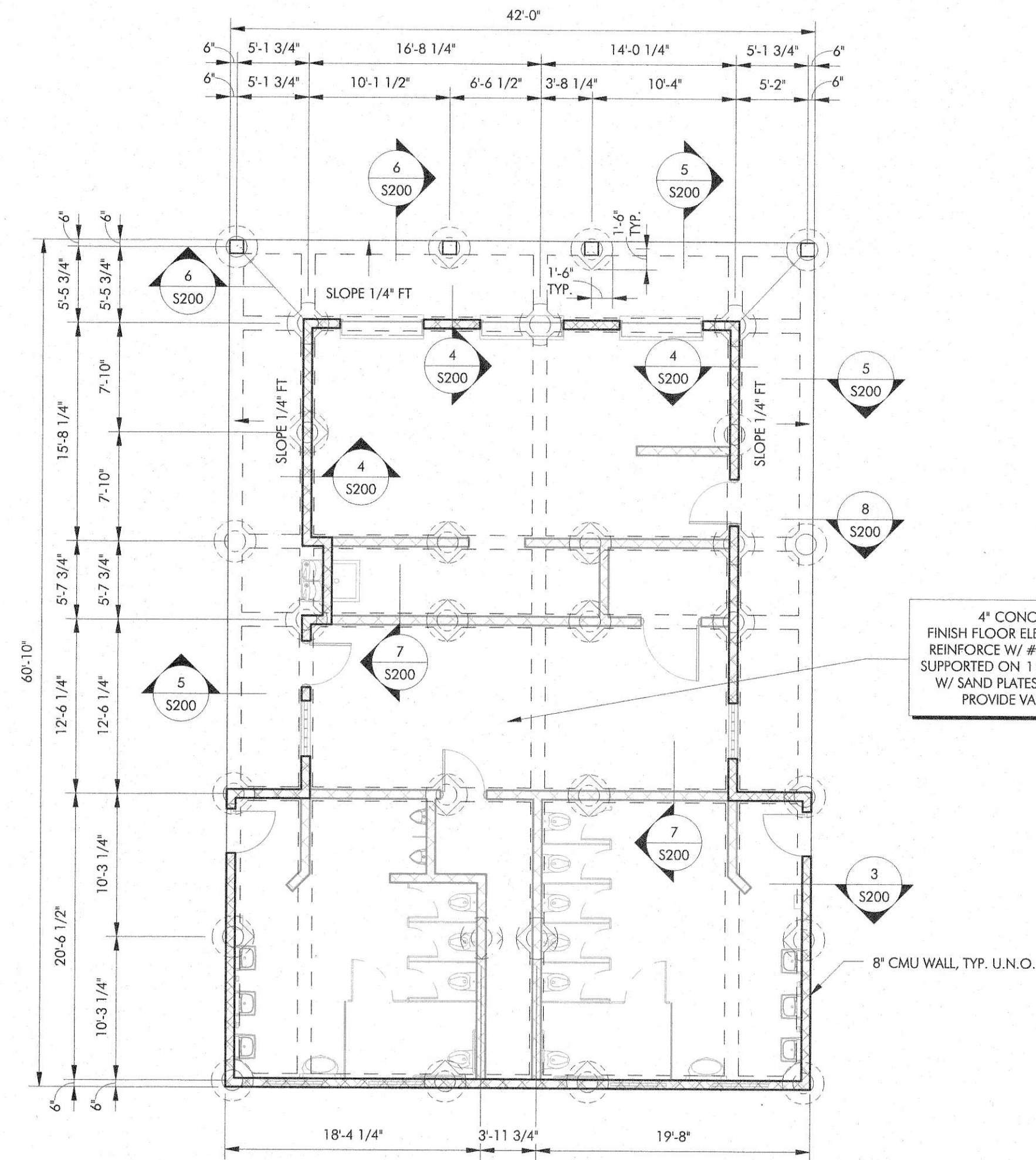
STRUCTURAL NOTES

SHEET NUMBER

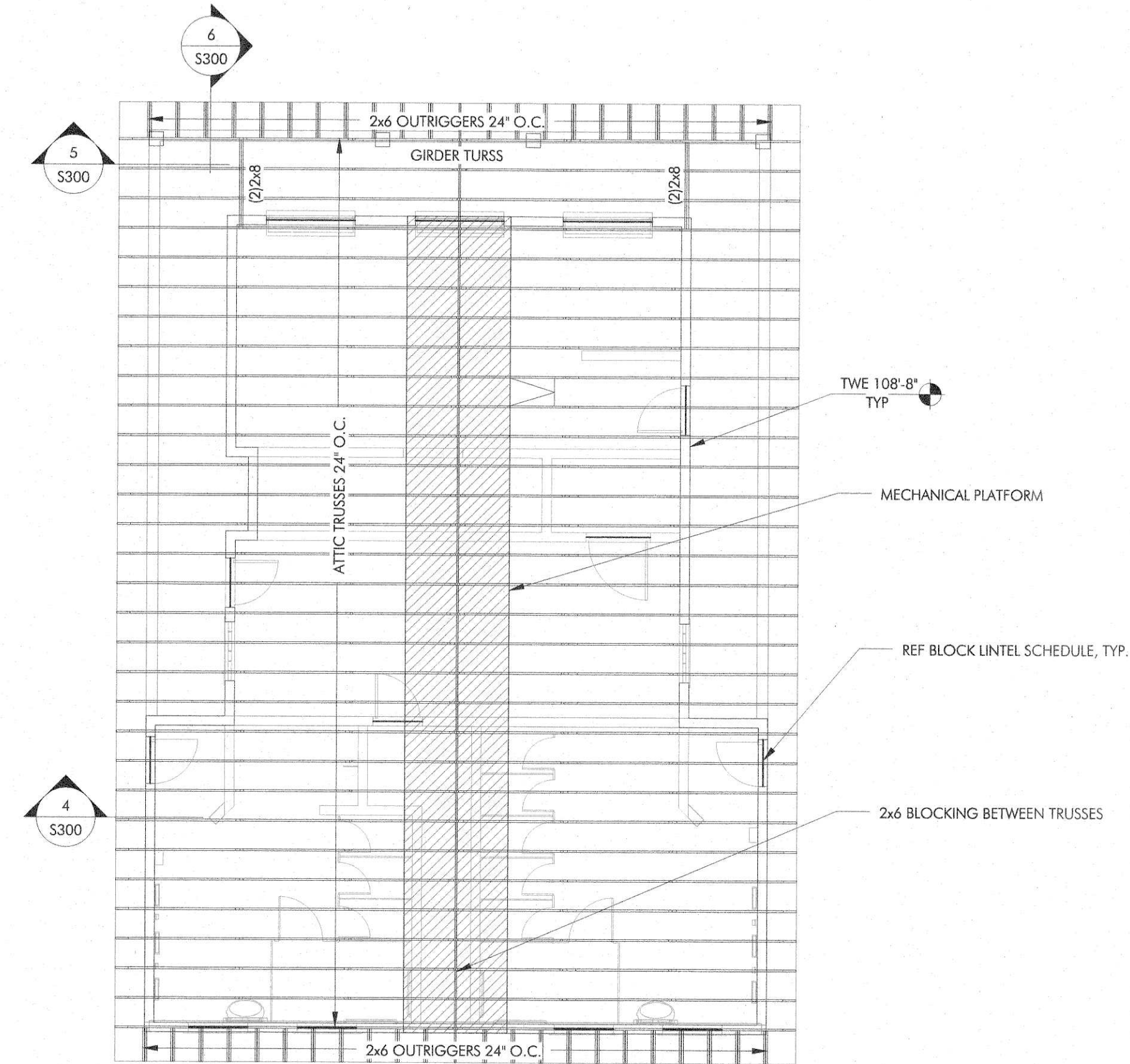
S001

CONCESSION / RESTROOM BUILDING

PROJECT A - SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS



4" CONCRETE SLAB
FINISH FLOOR ELEVATION = 100'-0"
REINFORCE W/ #3 @ 12" O.C.E.W.
SUPPORTED ON 1 3/4" METAL CHAIRS
W/ SAND PLATES @ 48" O.C.E.W.
PROVIDE VAPOR BARRIER



- PLAN NOTES:
- REFER TO CIVIL SITE PLANS FOR ACTUAL FINISH FLOOR ELEVATIONS. ASSUMED ELEVATION OF 100'-0" FOR ALL SLAB AREAS UNLESS NOTED ON FOUNDATION PLAN OR IN ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATIONS OF SLAB DROPS AND SLOPES AND FOR COORDINATION OF ALL SLAB AND GRADE BEAM PENETRATIONS.
 - PROVIDE CORNER BARS IN GRADE BEAMS PER DETAIL 9/S200.
 - PLUMBING FIXTURES ARE SHOWN FOR REFERENCE ONLY. REFER ARCHITECTURAL AND PLUMBING PLANS FOR LOCATIONS, TYPE AND QUANTITIES.
 - REFER TO DETAIL 10/S200 FOR ALL PIPE/CONDUIT IN THE FOUNDATION.
 - REFER TO DETAIL 11 AND 12/S200 FOR GRADE BEAM PENETRATIONS.

| | |
|-------------------------------------|-------------------|
| <input checked="" type="checkbox"/> | APPROVED |
| <input checked="" type="checkbox"/> | APPROVED AS NOTED |
| <input type="checkbox"/> | DISAPPROVED |
| <input type="checkbox"/> | REVISE & RESUBMIT |
| <i>JLF</i> | AUG 14 2017 |
| CITY OF DEER PARK | DATE |

PROJECT PHASE

Project Status
REVISIONS
CITY OF DEER PARK
Date Received

AUG 11 2017

ENGINEERING DEPARTMENT

PROJECT NUMBER

17011

DATE ISSUED

03-20-2017

SHEET TITLE

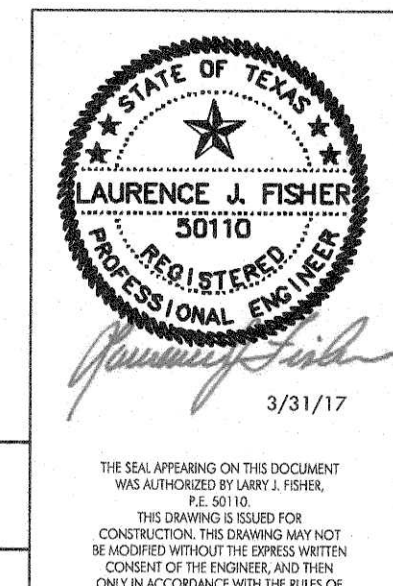
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SHEET NUMBER

S100

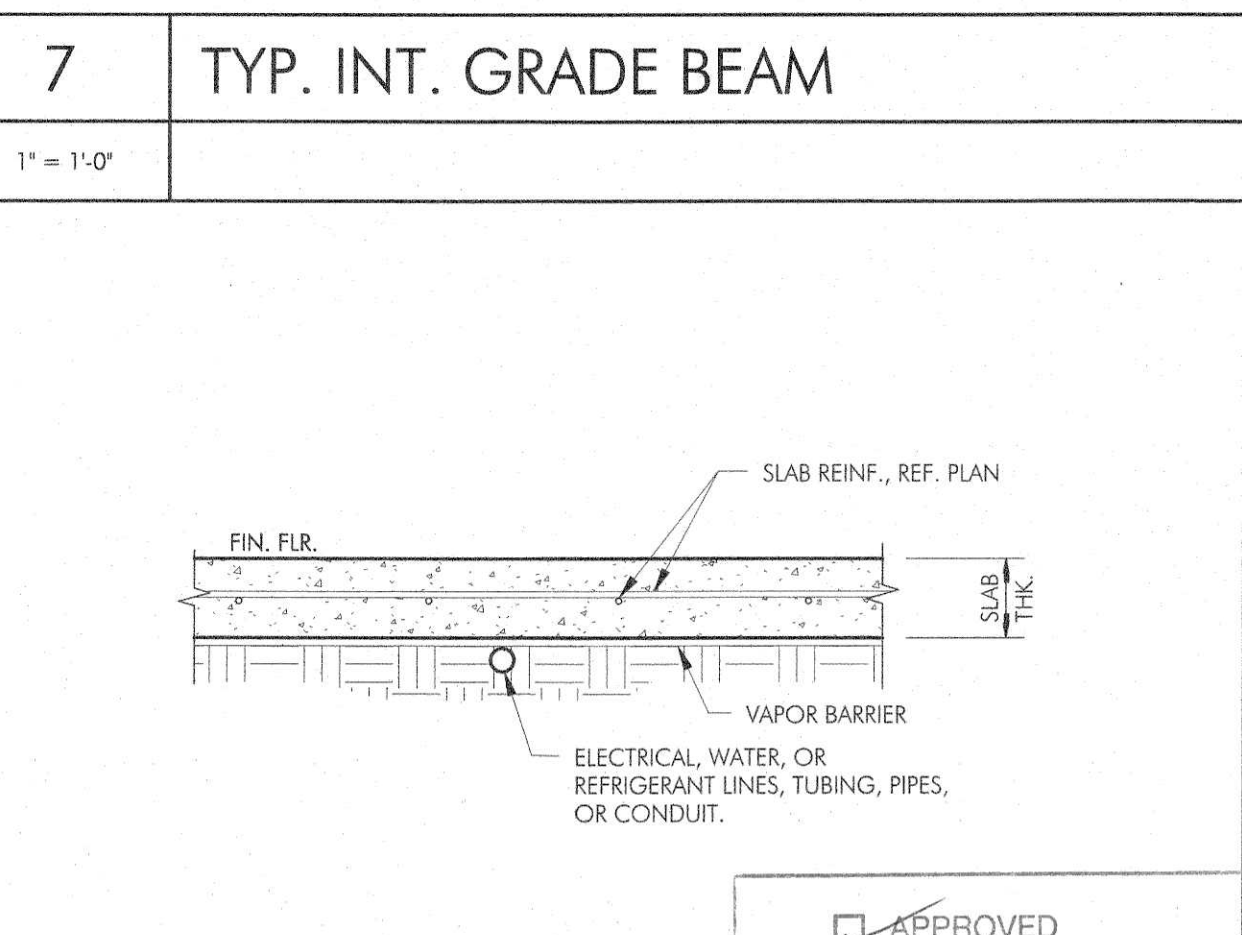
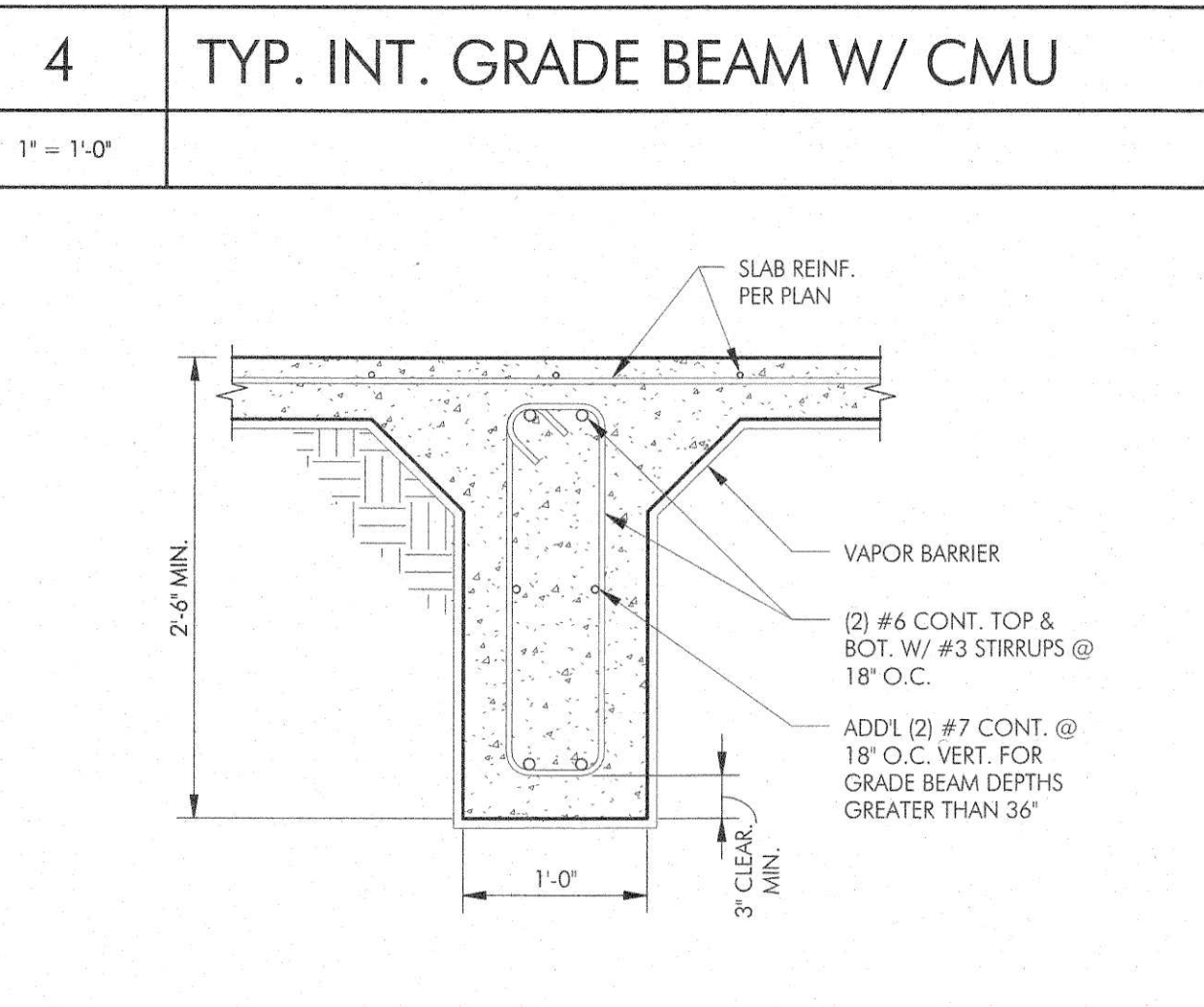
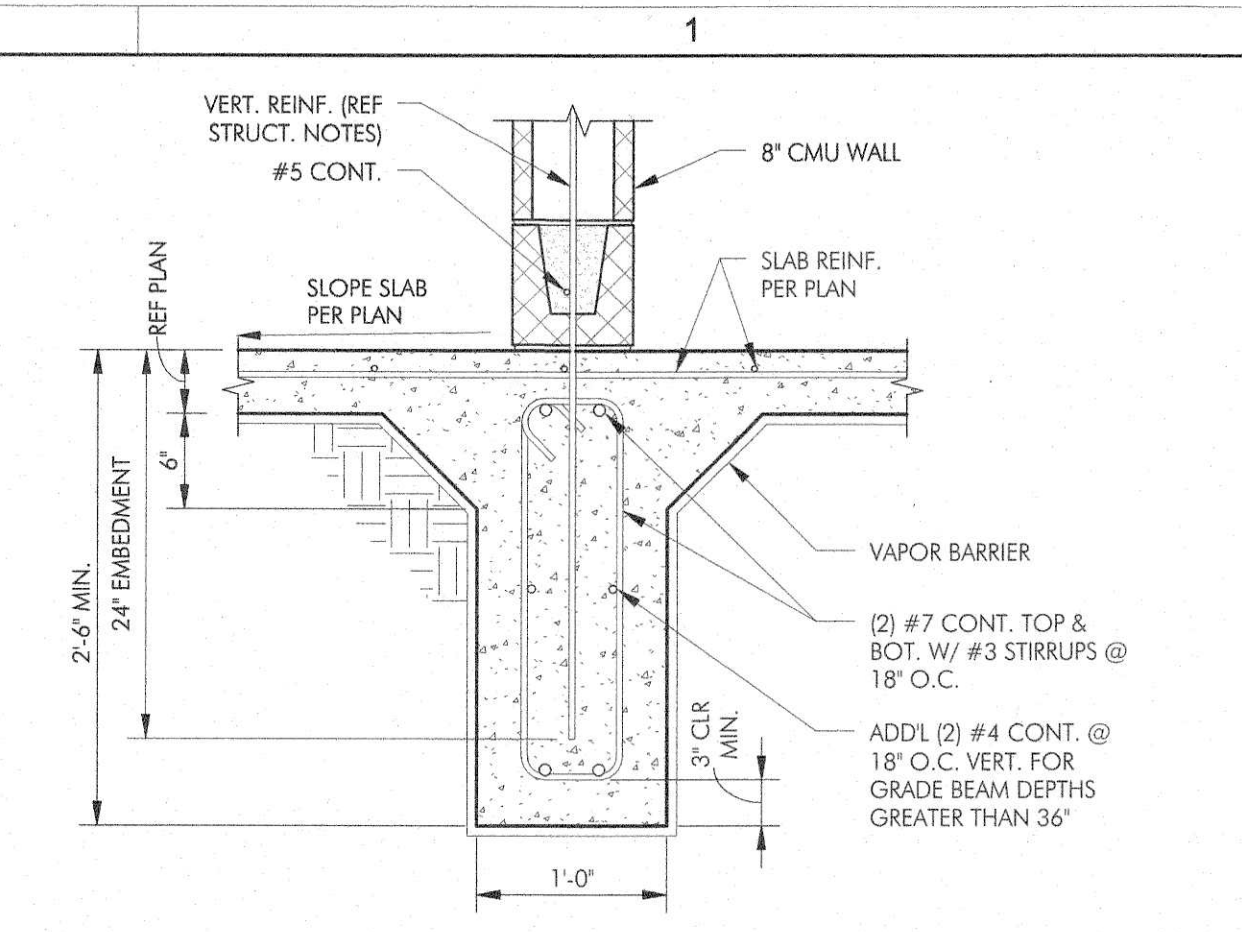
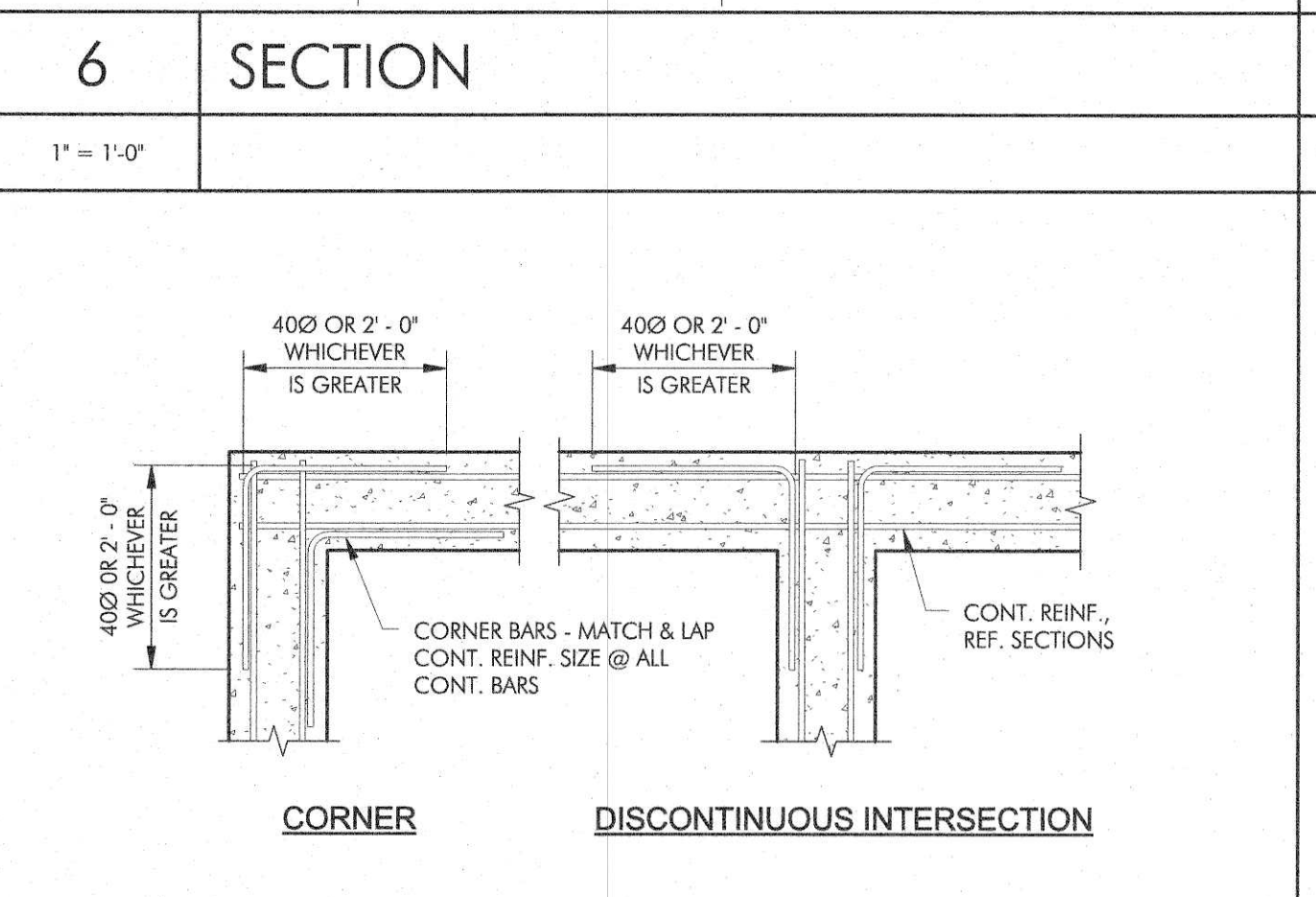
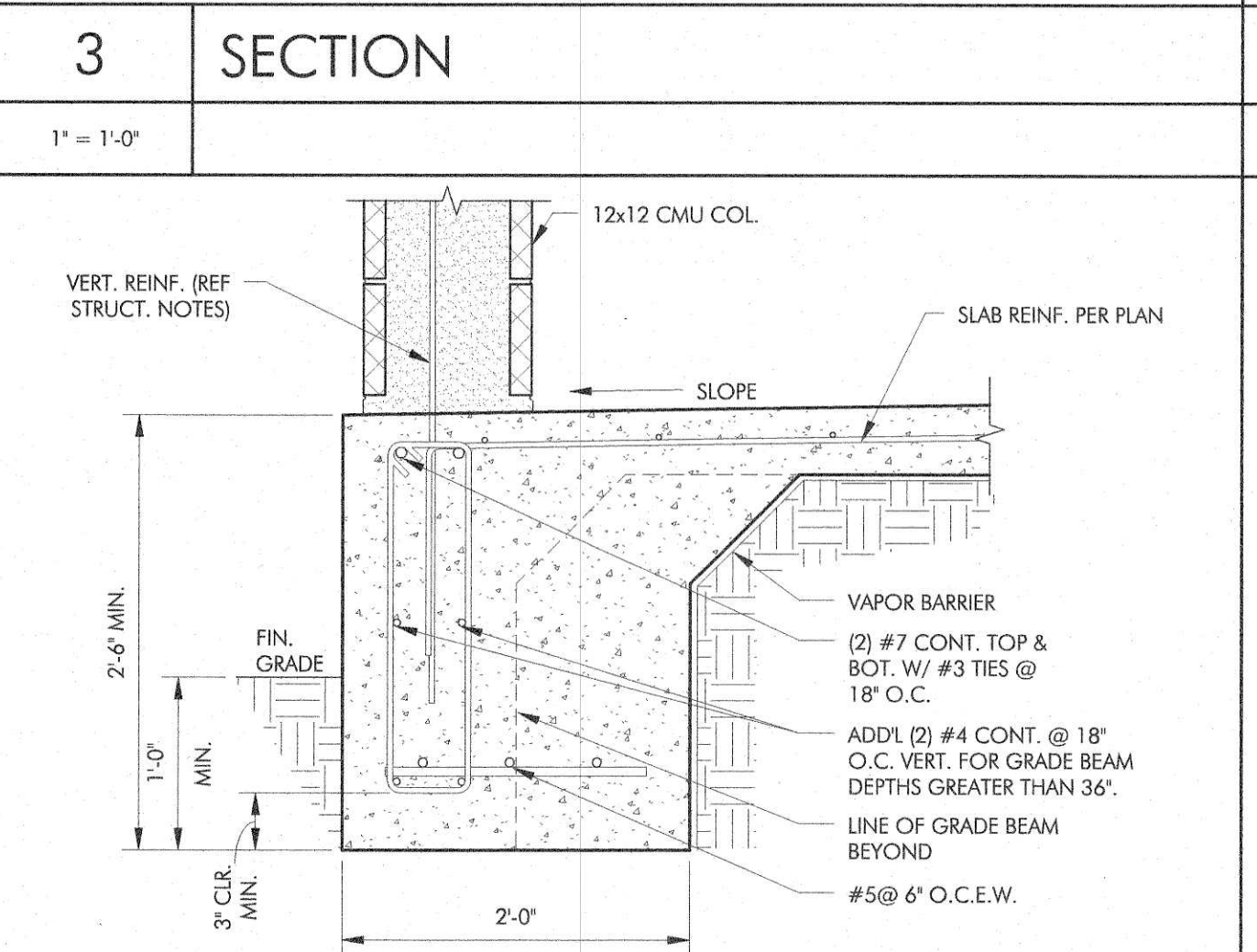
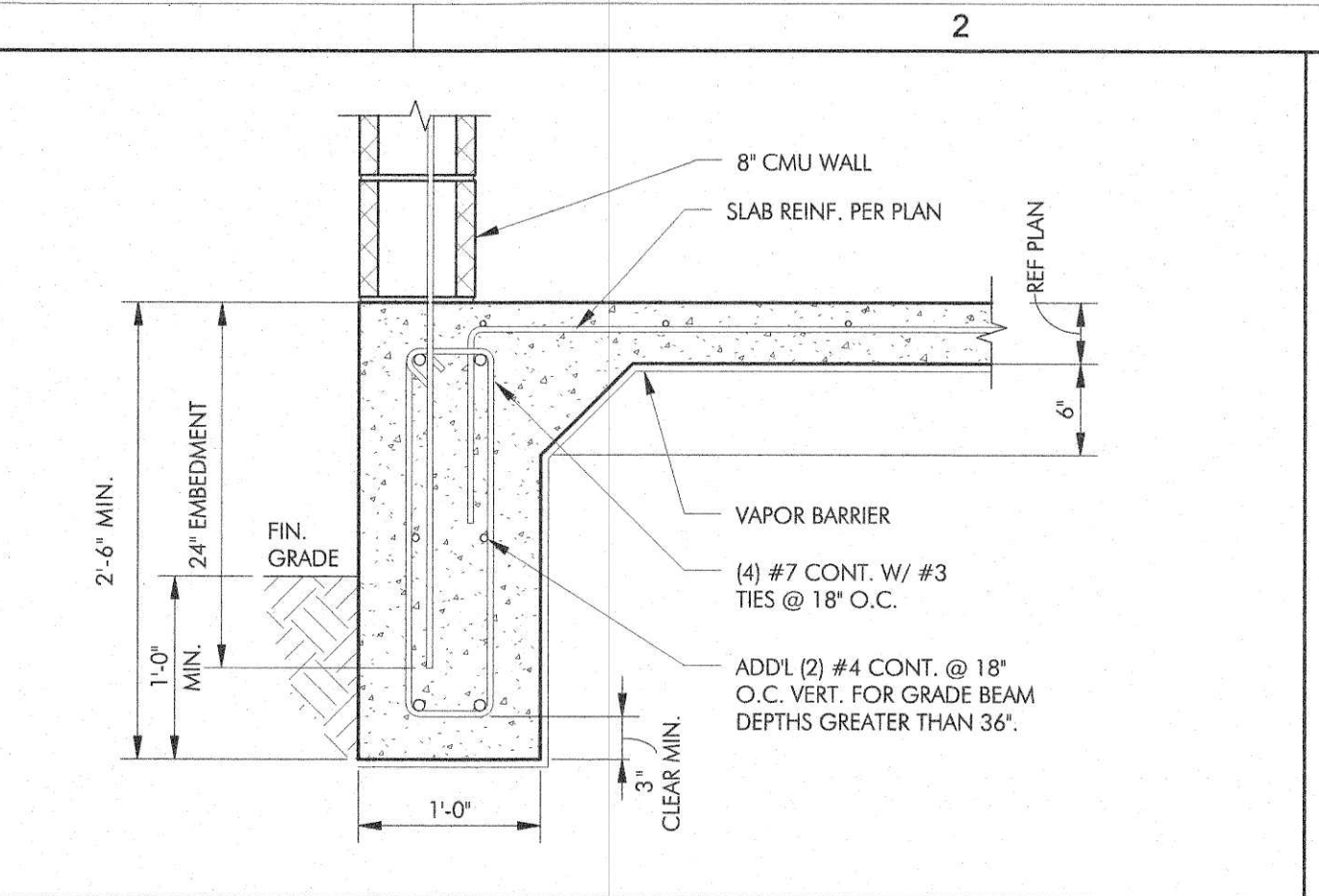
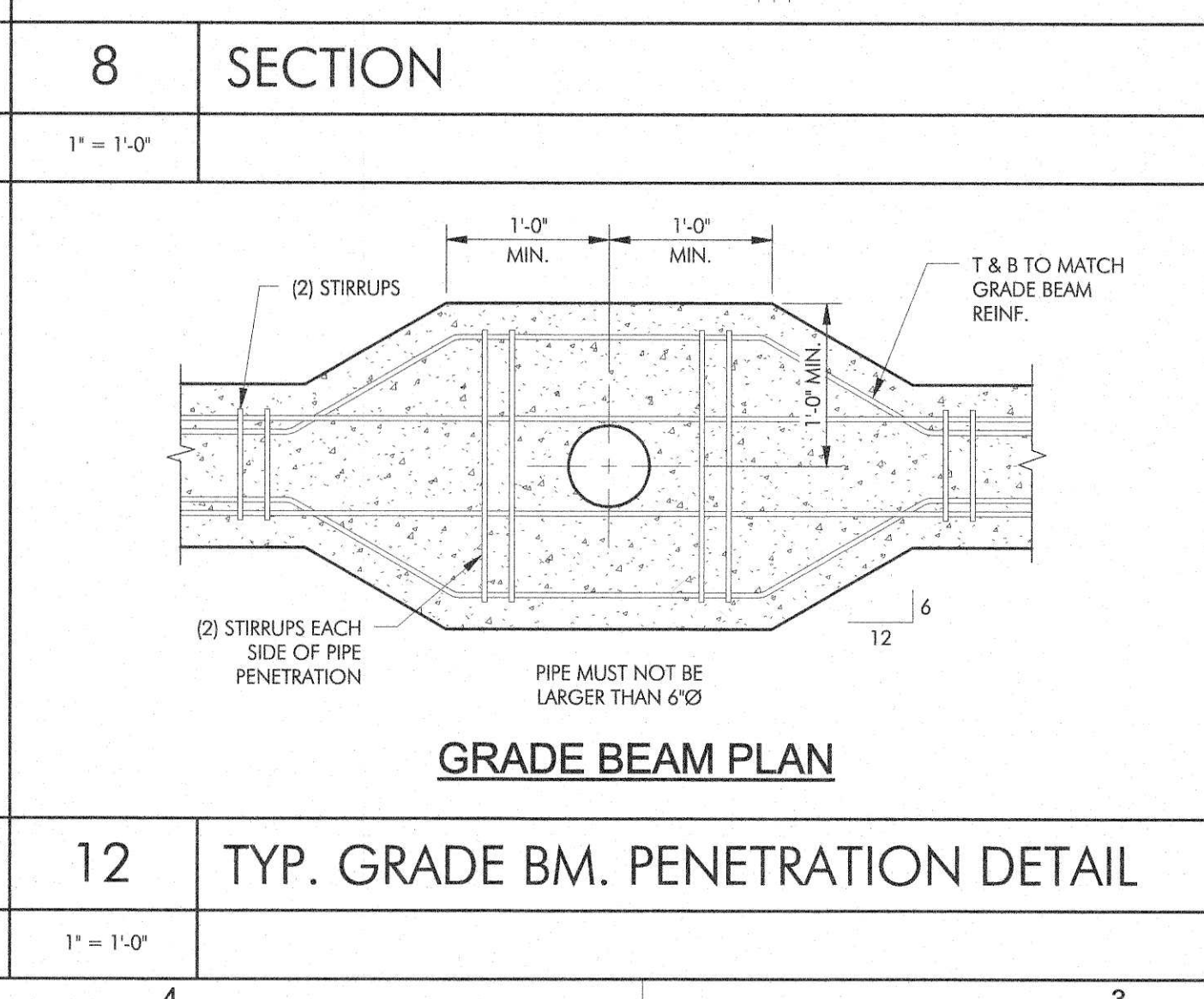
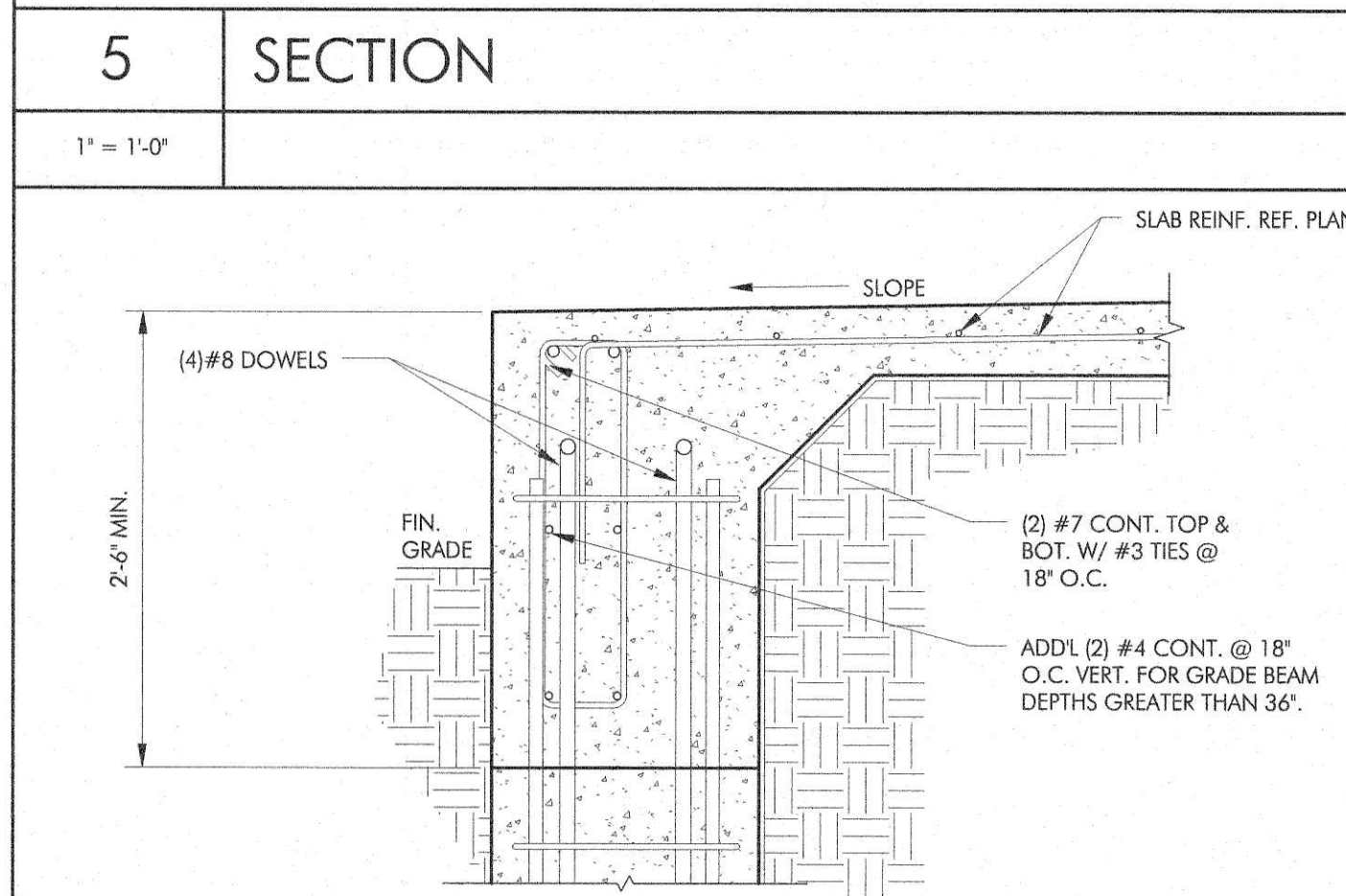
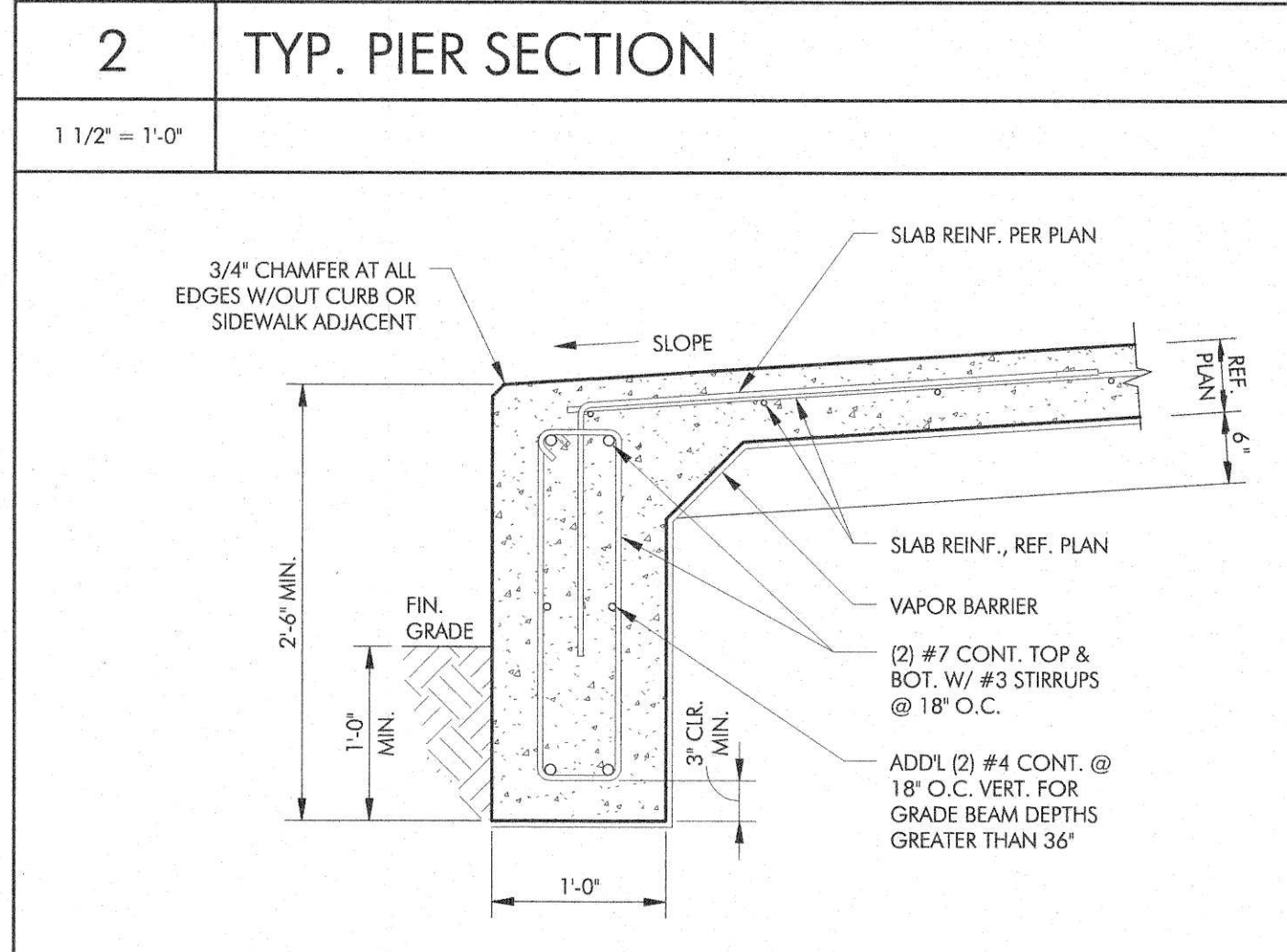
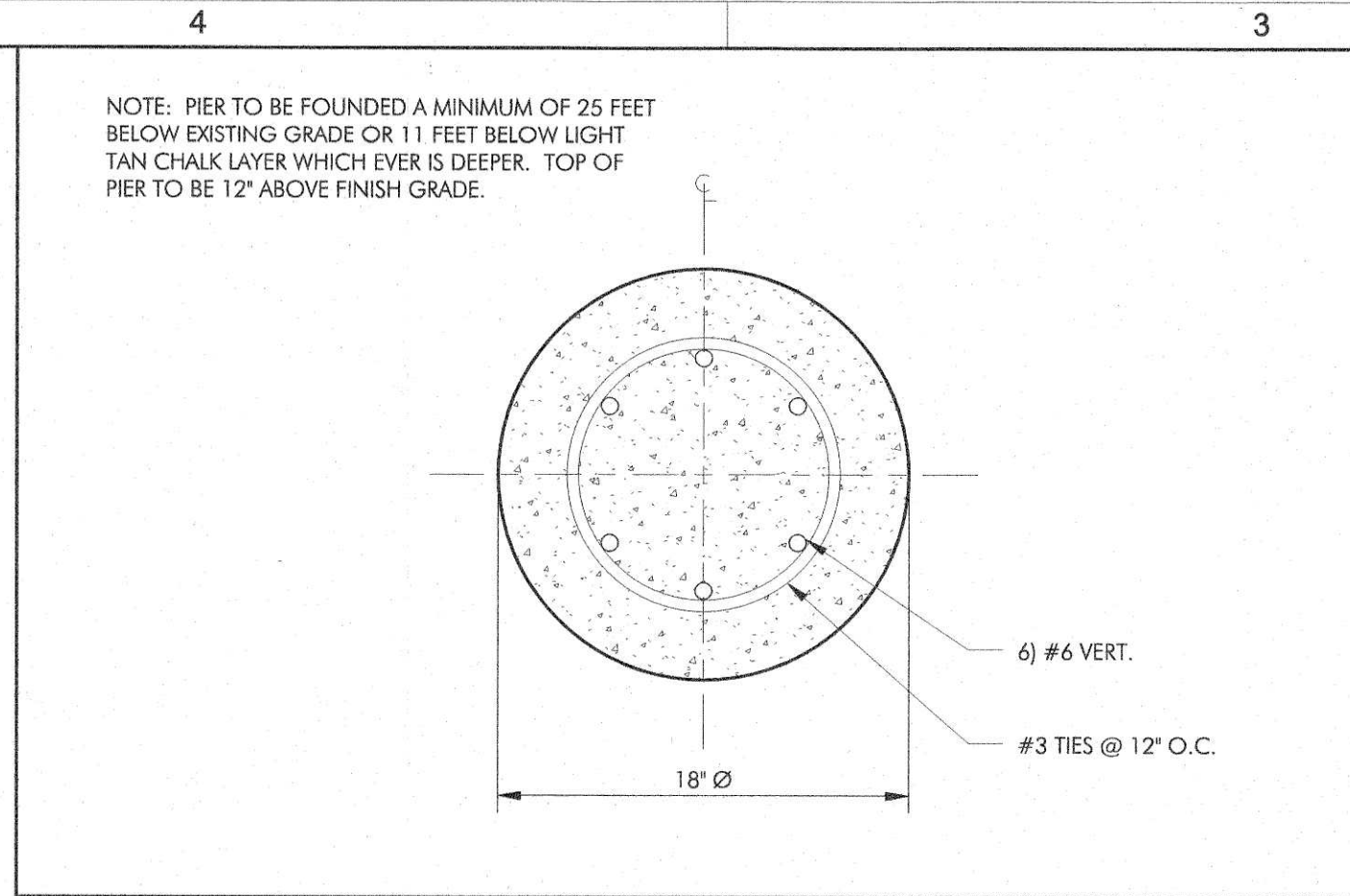
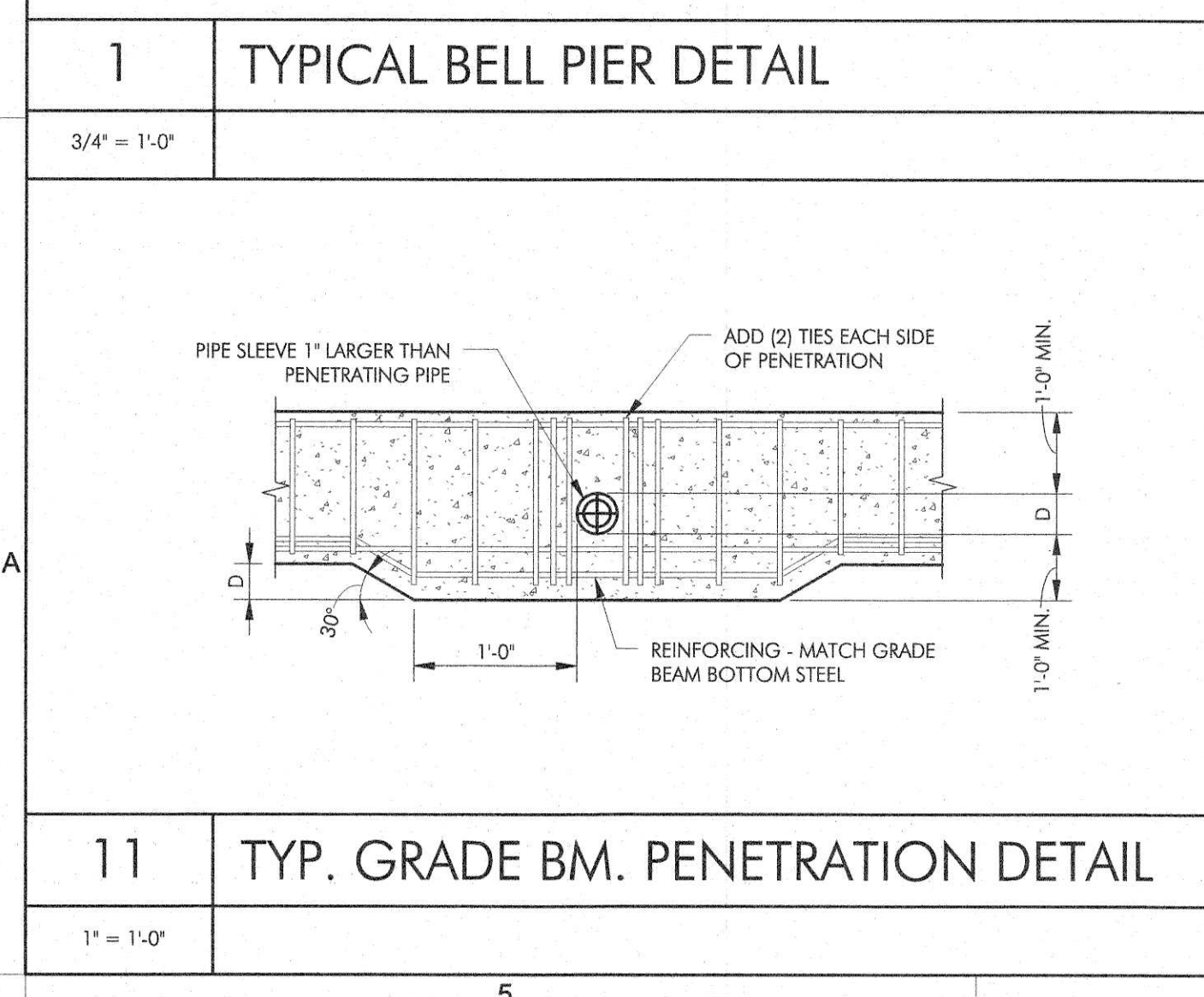
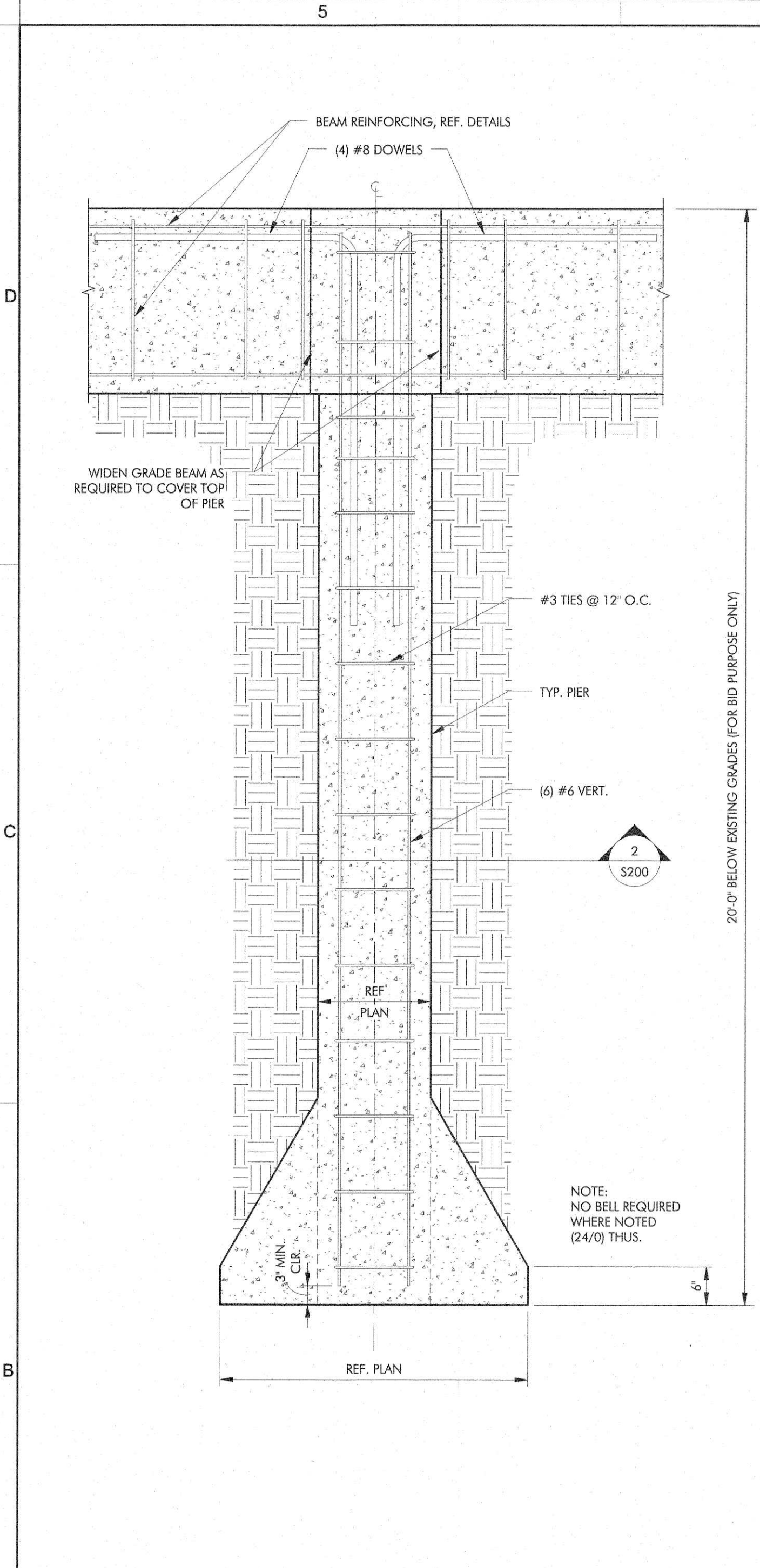
1 FOUNDATION PLAN
1/8" = 1'-0"

2 ROOF FRAMING PLAN
1/8" = 1'-0"



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DESIGN & RESUBMIT

AUG 14 2017

CITY OF DEER PARK

DATE

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2851 Joe DiMaggio, Unit 22
Round Rock, TX 78665
Phone (512) 244-1966
Fax (512) 388-3698
TBE Registration No. F-12702
JOB NO. 17011
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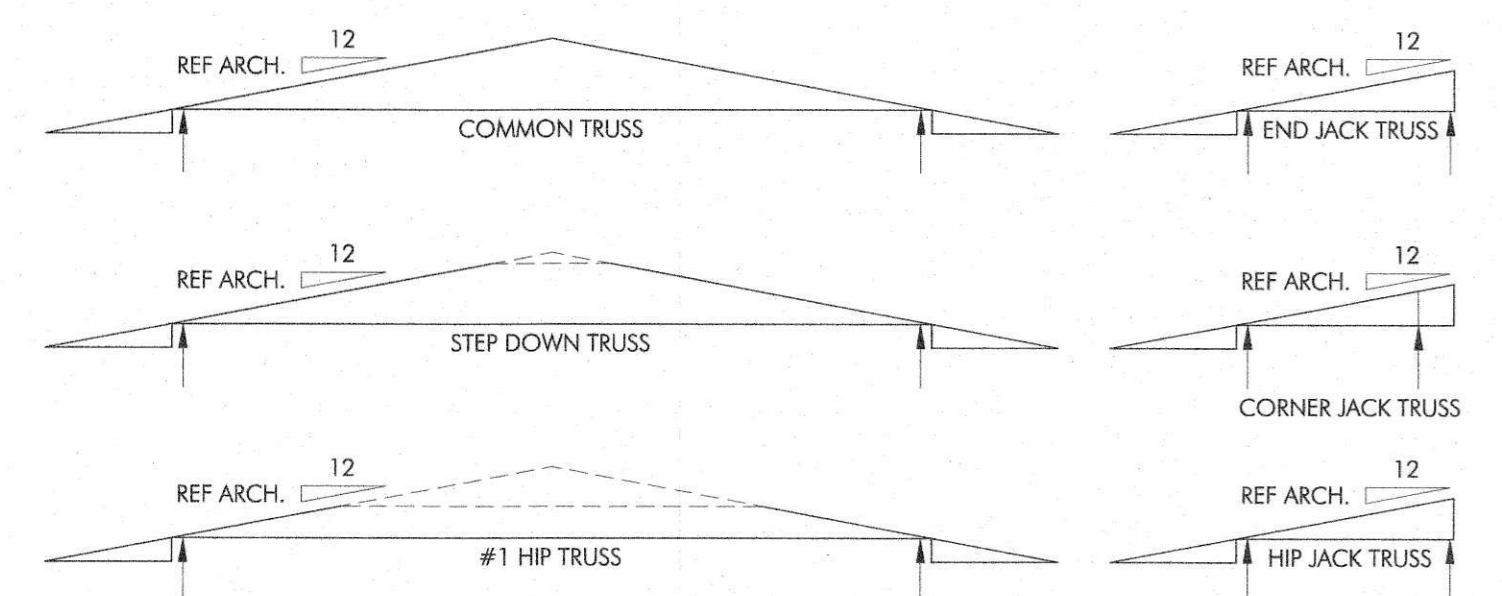
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**CONCESSION / RESTROOM
BUILDING**

PROJECT A - SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

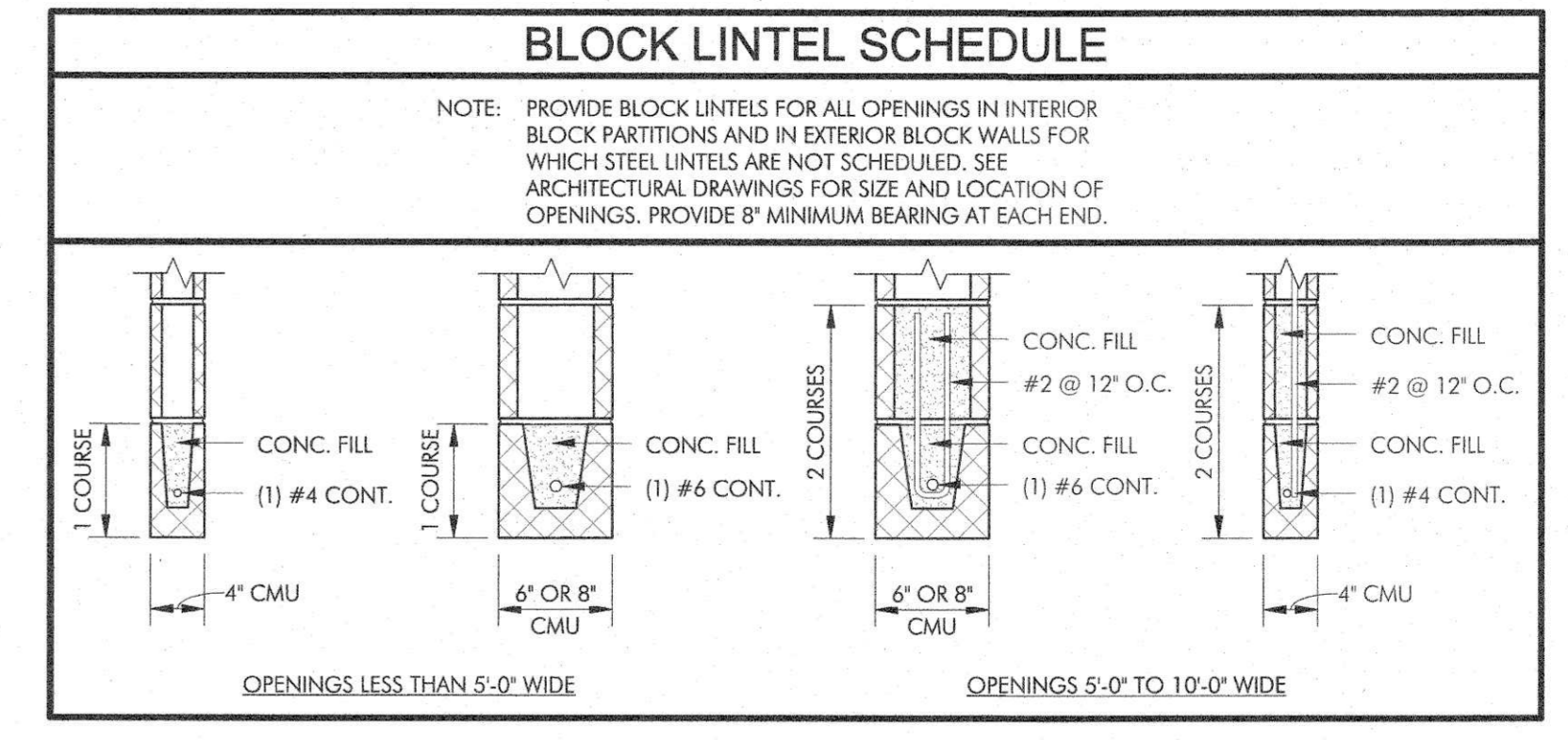
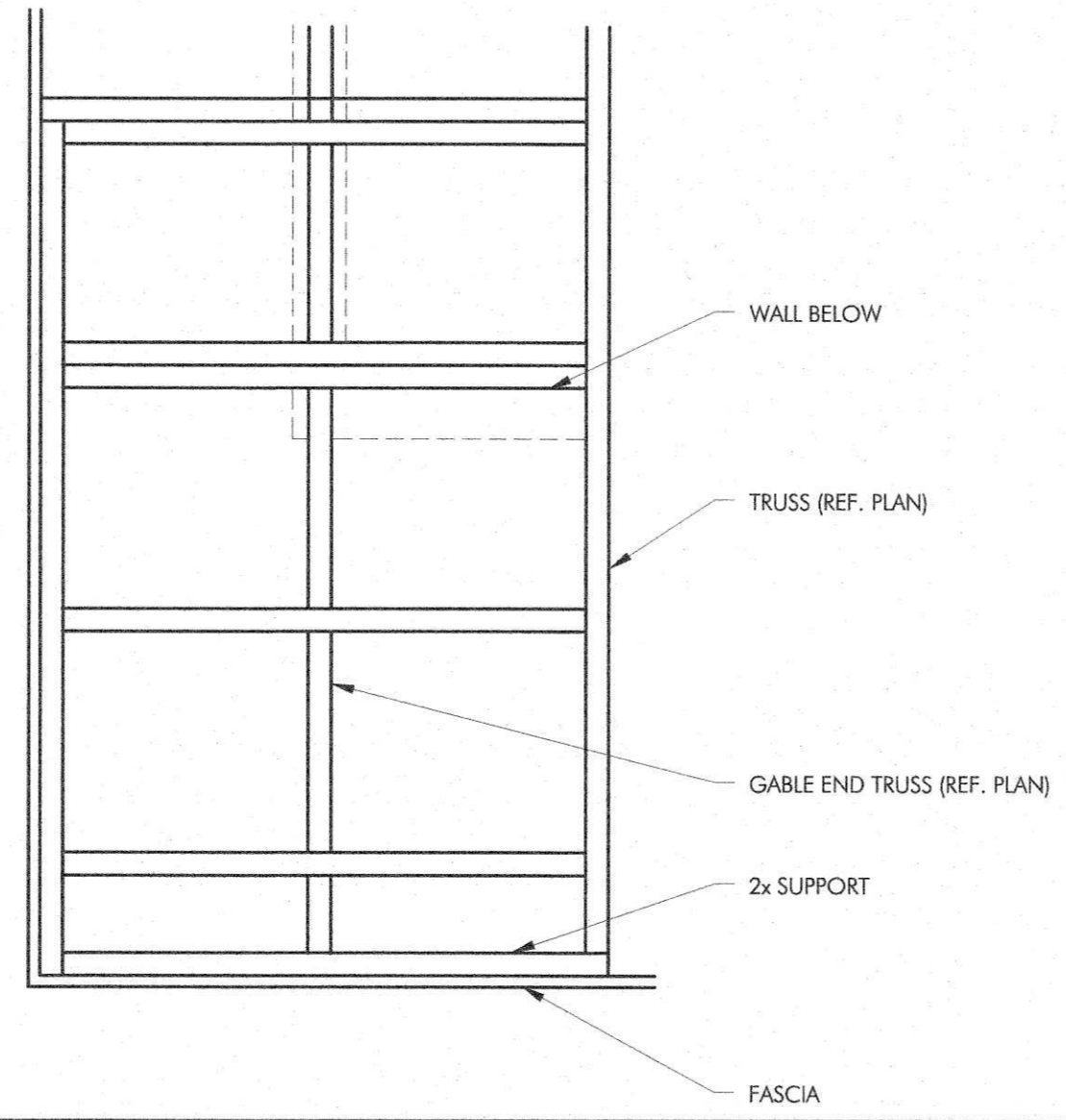
PROJECT PHASE
Project Status
REVISIONS
CITY OF DEER PARK
Date Received
AUG 11 2017
ENGINEERING DEPARTMENT

PROJECT NUMBER
17011
DATE ISSUED
03-20-2017
SHEET TITLE
FOUNDATION
DETAILS
SHEET NUMBER
S200



TRUSS NOTES:
LOADING:
TOP CHORD DEAD LOAD = 10 PSF
LIVE LOAD = 20 PSF
TOP CHORD DEAD LOAD = 5 PSF
DURATION FACTOR OF 100%
UPLIFT = 25 PSF

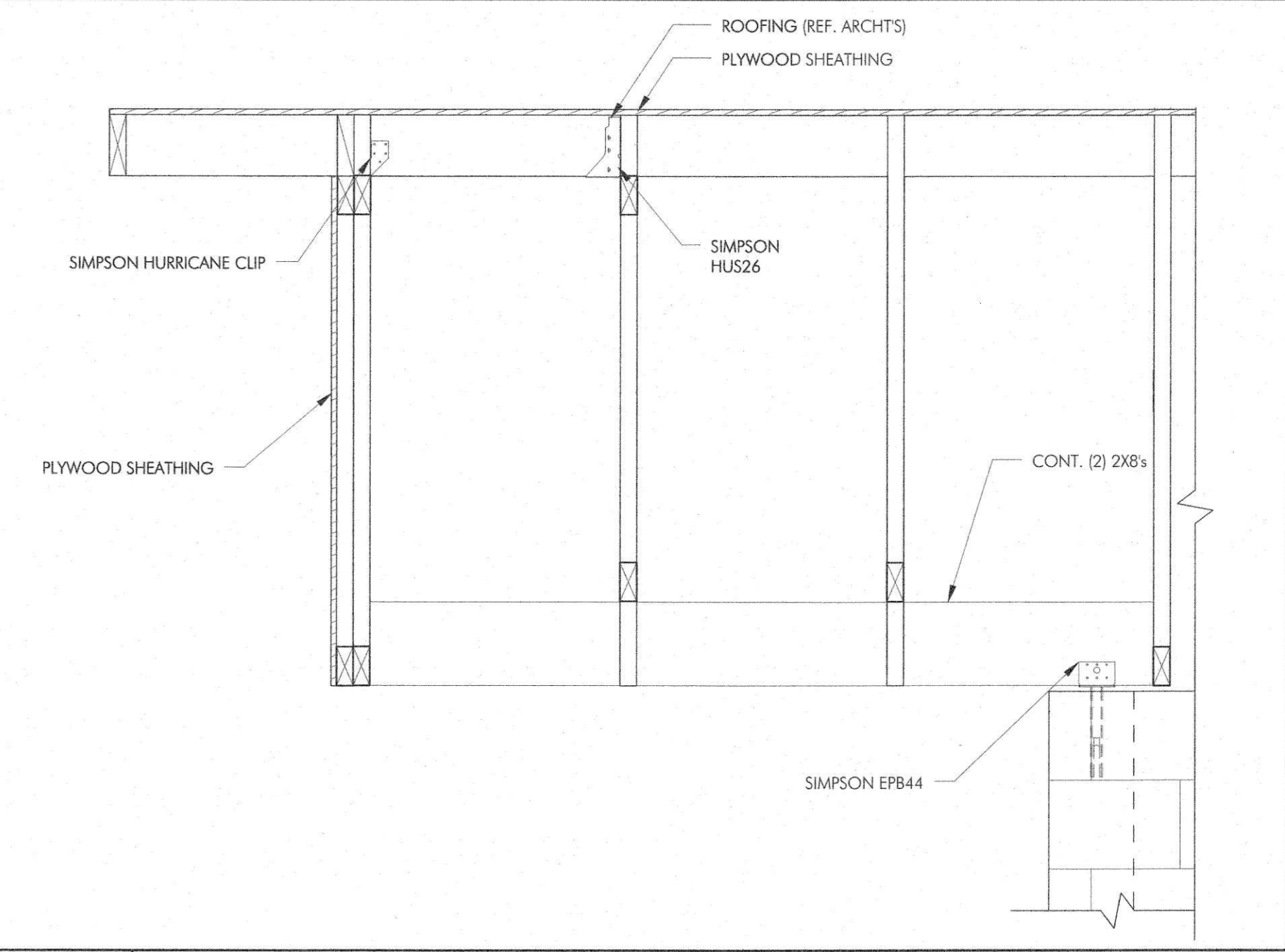
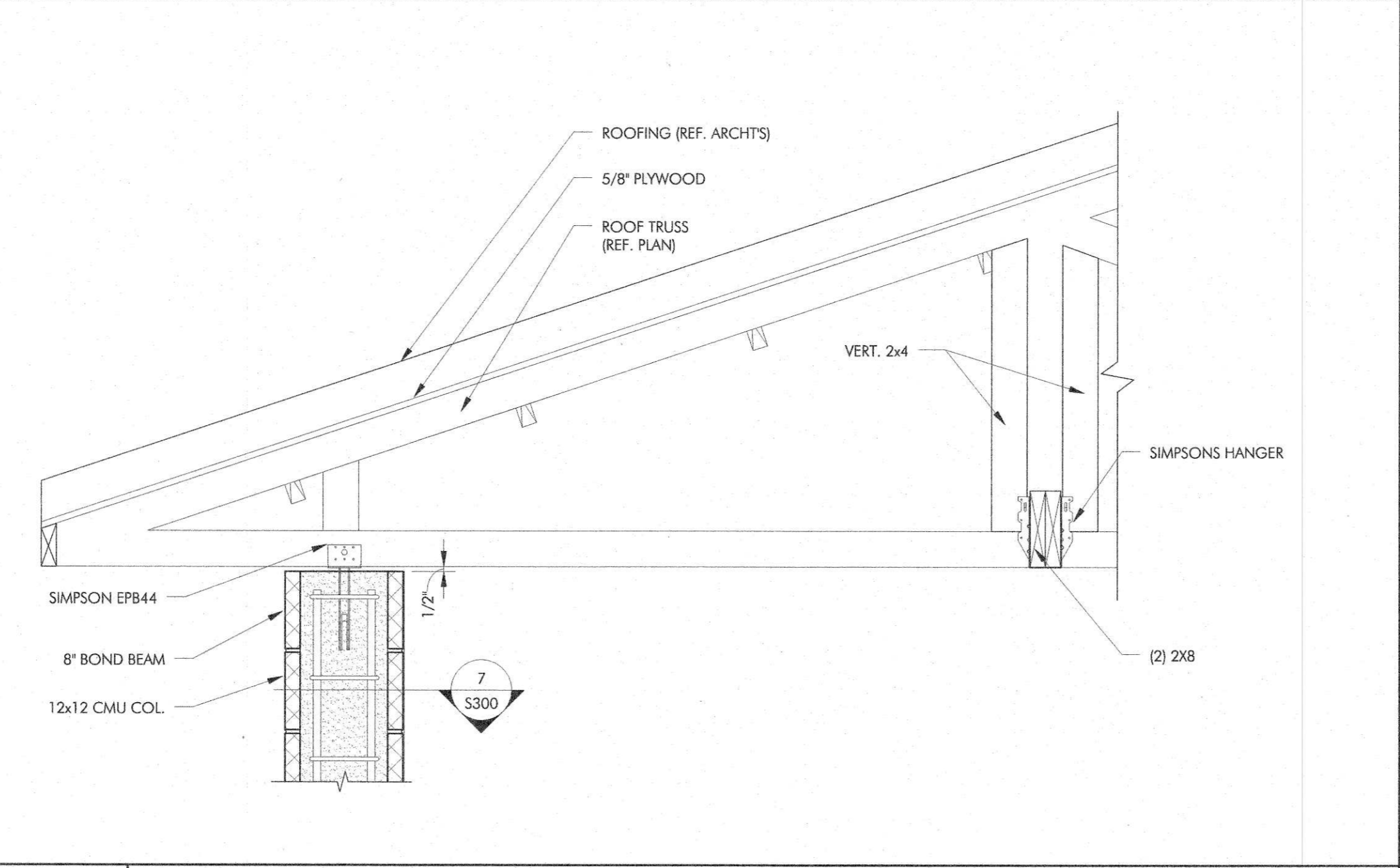
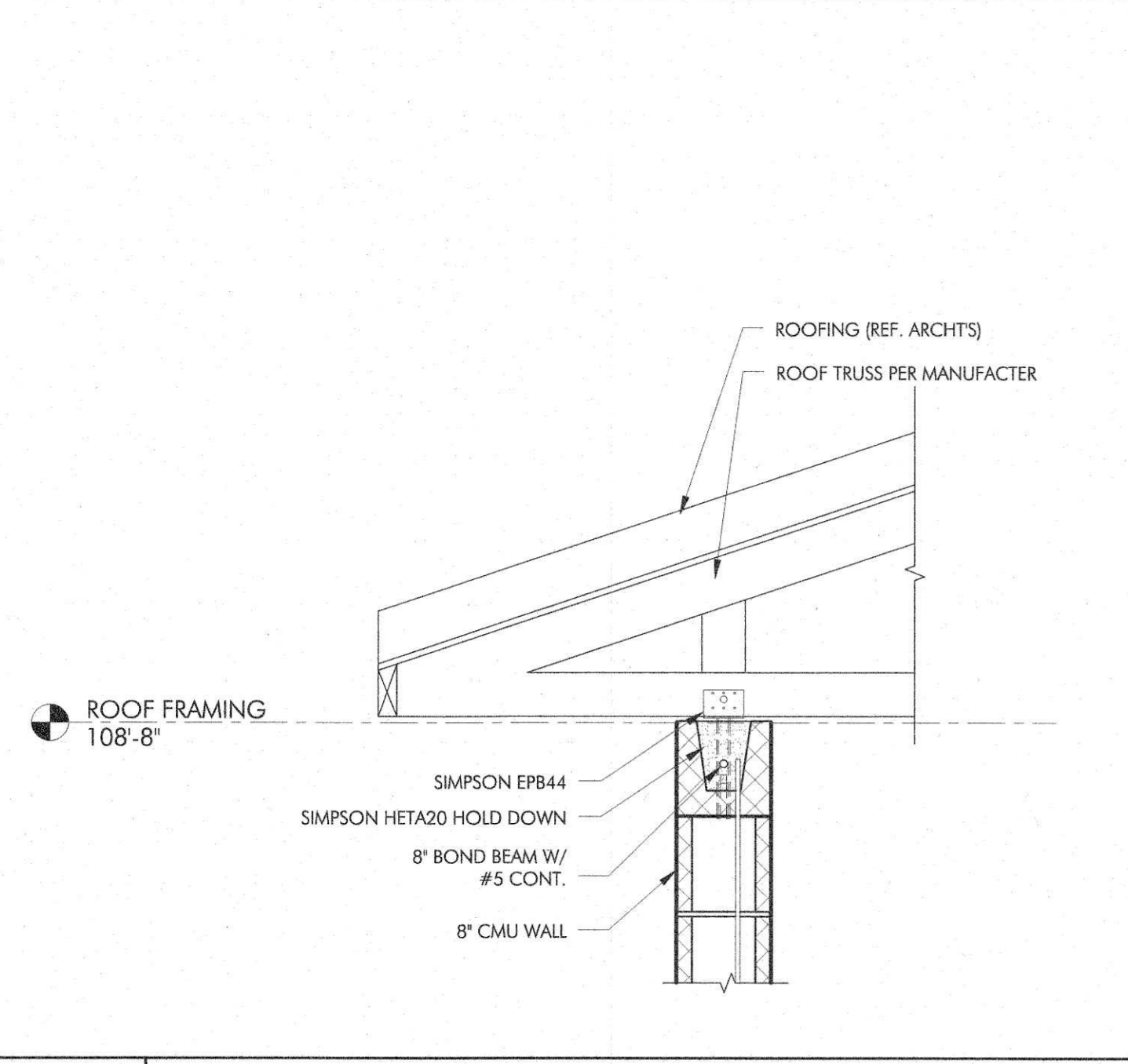
TRUSSES TO BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE LATEST AITC SPECIFICATION AND BE EQUAL TO THAT MANUFACTURED BY ALPINE ENGINEERED PRODUCTS, INC. ALL TRUSSES TO BE ENGINEERED FOR THE LOADS INDICATED AND IN ACCORDANCE WITH APPLICABLE CODE LOADING AND THE MANUFACTURER SHALL SUBMIT SEALED ENGINEERING DRAWINGS FOR EACH TRUSS TYPE AND LENGTH.



1 SECTION
1" = 1'-0"

2 SECTION
1" = 1'-0"

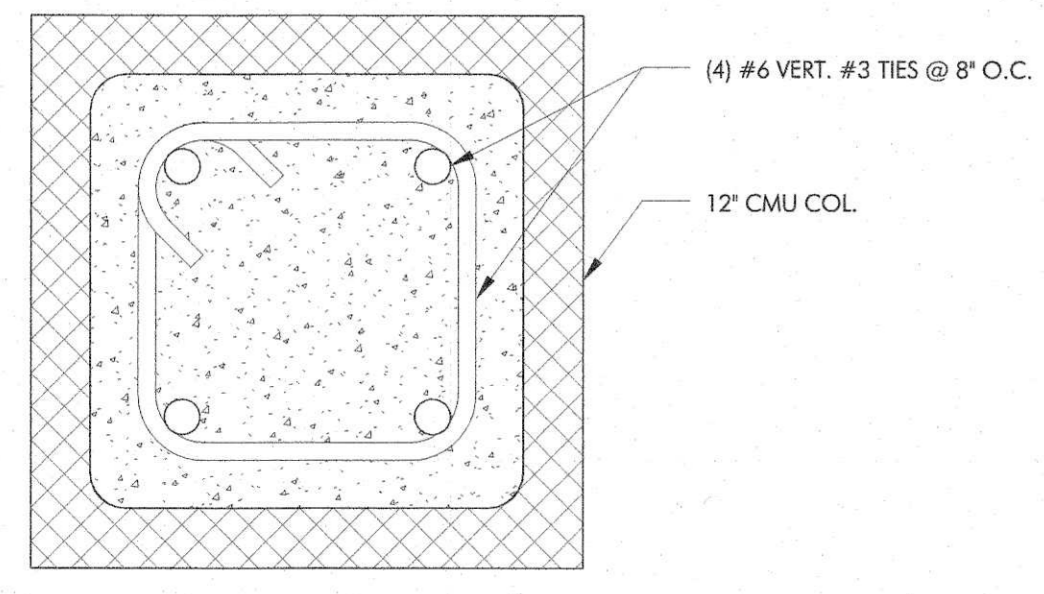
3 BLOCK LINTEL SCHEDULE
1" = 1'-0"



4 SECTION
1" = 1'-0"

5 SECTION
1" = 1'-0"

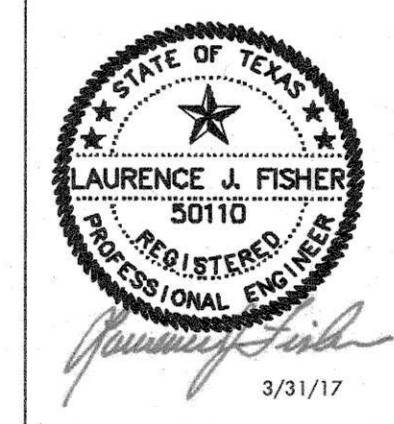
6 SECTION
1" = 1'-0"



NOT USED

7 SECTION
3\"/>

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT
CITY OF DEER PARK DATE
AUG 14 2017



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**CONCESSION / RESTROOM
BUILDING**

PROJECT A - SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
Project Status
REVISIONS
CITY OF DEER PARK
Date Received
AUG 11 2017
ENGINEERING DEPARTMENT

PROJECT NUMBER
17011
DATE ISSUED
03-20-2017
SHEET TITLE
FRAMING DETAILS
SHEET NUMBER
S300

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MISCELLANEOUS EQUIPMENT SCHEDULES

GENERAL NOTES:

A. ELECTRICIAN TO PROVIDE 120V POWER TO ALL EQUIPMENT FROM NEAREST PANEL HAVING CAPACITY, UNLESS OTHERWISE NOTED.

B. ELECTRICAL CONTRACTOR IS TO PROVIDE ALL PARTS AND LABOR TO MAKE FINAL CONNECTIONS TO ALL EQUIPMENT SHOWN IN CONTRACT DOCUMENTS. POWER MAY BE SHOWN IN GENERAL LOCATION. IT IS EXPECTED THAT THE ELECTRICAL CONTRACTOR COORDINATE FINAL LOCATION FOR ROUGH-IN AND CONNECTION REQUIREMENTS WITH EXACT EQUIPMENT BEING INSTALLED. THESE ITEMS INCLUDE, BUT NOT LIMITED TO, BOOK SECURITY, EXHAUST FANS, KILNS, HAND DRYERS, SENSOR OPERATED PLUMBING DEVICES, ELECTRIC OVERHEAD DOORS, FIRE SMOKE DAMPERS, AIR PURIFICATION UNITS, ETC.

MOTION SENSORS
PROVIDE MOTION SENSORS AS SHOWN ON PLANS. PROVIDE DUAL TECHNOLOGY MOTION SENSORS IN EVERY ROOM OVER 250 SQ.FT. WIRE SO THAT MOTION SENSOR ACTIVATES SWITCHES ON WALL.

POWER FOR SPECIAL SYSTEMS POWER SUPPLIES

- ELECTRICAL CONTRACTOR TO PROVIDE POWER TO ALL SECURITY, FIRE ALARM, ACCESS CONTROL, ETC. POWER SUPPLIES. COORDINATE EXACT LOCATION WITH SPECIAL SYSTEMS CONTRACTOR AND FLOOR PLANS. PROVIDE DEDICATED LOW VOLTAGE CIRCUIT TO NEAREST PANEL HAVING CAPACITY U.O.N.
- LABEL ALL SPECIAL SYSTEMS POWER SUPPLIES WITH PANEL AND CIRCUIT NUMBERS.

SENSOR OPERATED PLUMBING DEVICES
PLUMBING CONTRACTOR TO PROVIDE LOW VOLTAGE TRANSFORMERS FROM MANUFACTURER. ELECTRICAL CONTRACTOR IS TO PROVIDE ALL OTHER MATERIALS AND LABOR FOR COMPLETE INSTALLATION.

DISCONNECT SWITCH SCHEDULE

REMARKS:

A. COORDINATE FINAL FUSE SIZES WITH EQUIPMENT BEING PROVIDED PRIOR TO ROUGH-IN.

B. WHEN THE LENGTH OF THE SECONDARY CONDUCTORS OF ANY TRANSFORMER EXCEEDS TEN FEET, PROVIDE AN ENCLOSED CIRCUIT BREAKER OR FUSED DISCONNECT WITHIN TEN FEET OF THE TRANSFORMER SECONDARY TERMINALS IN ACCORDANCE WITH NEC ARTICLE 240-21(C)(2). THIS OVERCURRENT DEVICE SHALL HAVE AN AMP RATING EQUAL TO THE AMP RATING OF THE PANEL BEING SERVED. THE PANEL BEING FED MAY BE CHANGED TO MAIN LUG ONLY.

C. PROVIDE LUG KITS AND/OR WIRING GUTTERS FOR PANELS WITH OVERSIZED CONDUCTORS DUE TO VOLTAGE DROP AND/OR DISTANCE. MAKE CONNECTIONS IN ACCORDANCE WITH THE N.E.C.

D. PROVIDE SHOP DRAWINGS OF ALL ELECTRIC ROOMS INDICATING ALL PANEL, TRANSFORMER AND DISCONNECT LOCATIONS. ELECTRICAL EQUIPMENT MAY SHIFT IN LOCATION TO INSURE PROPER CLEARANCES.

E. PROVIDE DISCONNECTING MEANS FOR ALL EQUIPMENT PER N.E.C.

F. DISCONNECTS MOUNTED ABOVE CEILING MUST BE MOUNTED TO BE READILY ACCESSIBLE NEAR UNIT. HANDLE TO BE NO MORE THAN 36" ABOVE CEILING GRID.

G. ALL EXTERIOR DISCONNECTS ARE TO BE MOUNTED BELOW LINE OF SIGHT OF A SCREEN WALL OR IF SINGLE DISCONNECT, LEVEL WITH TOP OF CONDENSER. VERIFY LOCATION WITH ARCHITECT/ENGINEER PRIOR TO ROUGH-IN.

| MARK | VOLTAGE | | | AMPERES RATING | | | POLES | ENCLOSURE | FUSES | REMARKS |
|------|---------|-----|-----|----------------|----|-----|-------|-----------|-------|-------------------|
| | 120 | 240 | 480 | 30 | 60 | 100 | | | | |
| 1 | | | | | | | 1 | 3 | 400 | PANEL 'L1' |
| 2 | | | | | | | 1 | 20 | 20 | EUH-1 |
| 3 | | | | | | | 1 | 30 | 30 | WATER HEATER 'WH' |

SPECIAL SYSTEMS SCOPE

FIRE ALARM SYSTEM
1. NONE

INTERCOM
1. NONE

TECHNOLOGY
1. NONE OR BY OWNER

ACCESS/ CONTROL SECURITY
1. NONE OR BY OWNER

HVAC CONTROLS DDC
1. NONE

NLIGHT - DEVICE SYMBOL SCHEDULE

NOTES:

A. ALL SYMBOLS DO NOT NECESSARILY APPEAR ON THESE DRAWINGS.

B. ALL DEVICE PART NUMBERS ARE NLIGHT UNLESS OTHERWISE NOTED.

C. THESE DEVICES SHOULD BE USED IN ALL AREAS TO BE CONTROLLED BY NLIGHT.

D. MOTION SENSOR: WHERE MOTION SENSORS ARE SHOWN ON THE PLANS, THAT INDICATES AREA SHOULD BE COVERED IN FULL BY MOTION SENSORS. IT IS UP TO MOTION SENSOR PROVIDER TO PROVIDE APPROPRIATE QUANTITY AND LAYOUT OF MOTION SENSORS FOR COMPLETE COVERAGE. PROVIDE SHOP DRAWING AT SUBMITTAL PHASE.

E. PHOTOCELL: WHERE PHOTOCELLS ARE SHOWN ON PLANS OR IN TYPICAL DETAILS, IE: CLASSROOMS, PHOTOCELL LOCATION AND QUANTITY SHOULD BE DETERMINED BY PHOTOCELL PROVIDER. PHOTOCELLS ARE INTENDED TO DIM LIGHTS IN DAYLIGHT ZONES AS INDICATED BY IECC 2015. IF MULTIPLE ZONE CONTROL IS INDICATED FOR A SPACE AND THOSE ZONES ARE NOT CLEAR TO CONTRACTOR, THE CONTRACTOR IS TO MAKE BEST ASSUMPTION IN SHOP DRAWING PHASE AND NOTE AREAS IN QUESTION. ENGINEER WILL REVIEW AND MAKE ANY ADJUSTMENTS TO ZONES AT THAT TIME.

F. MANUFACTURER TO PROVIDE A COMPLETE SET OF SHOP DRAWINGS INDICATING ALL ASPECTS OF LIGHTING CONTROL AT A MINIMUM OF 1/8" = 1' SCALE WITH CLEAR DESCRIPTIONS AND LEGENDS FOR SYMBOLS.

G. BASIC COMPONENTS ARE CALLED FOR HERE, IT IS EXPECTED THAT MANUFACTURER PROVIDES ALL COMPONENTS FOR A COMPLETE WORKABLE SYSTEM.

H. FACTORY START-UP IS REQUIRED FOR ALL NLIGHT SPACES.

I. CONTRACTOR SHOULD SEND COMPLETE SET OF ELECTRICAL PLANS TO NLIGHT FACTORY REP TO ENSURE A COMPLETE BID.

K. CONTRACTOR TO ASSUME ALL DEVICES INTER-CONNECTED WITH CAT-5 CABLE. PROVIDE ALL REQUIRED CABLING BETWEEN DEVICES.

| SYMBOL | DESCRIPTION | REMARKS |
|-----------------|--|----------------------|
| Ⓢ ⁰ | DIMMER | nPODM-DX |
| Ⓢ ⁰¹ | DUAL TECHNOLOGY WALL MOUNT MOTION AND DIMMING | nWSX-PDT-SA |
| Ⓢ ⁰¹ | ONE ZONE CONTROLLER, ON/OFF AND DIMMING | nPODM-DX |
| Ⓢ ⁰² | TWO ZONE CONTROLLER, ON/OFF AND DIMMING | nPODM-2P-DX |
| Ⓢ ⁰³ | THREE ZONE CONTROLLER, 3 PRESET TOGGLE BUTTONS | -- |
| Ⓢ ⁰⁴ | FOUR ZONE CONTROLLER, 4 PRESET TOGGLE BUTTONS | -- |
| M ^{DT} | MOTION SENSOR, DT (DUAL TECHNOLOGY) | nCM-PDT-9;nWV-PDT-16 |
| Ⓢ | PHOTOCELL | nCM-ADCX |

NLIGHT INTERIOR LIGHTING SCHEDULE

GENERAL NOTES:

POWER PACKS
FOR FIXTURES THAT ARE NOT NLIGHT COMPATIBLE, PROVIDE POWER PACKS TO ACHIEVE ZONING INDICATED ON PLANS.

AREAS WITH HIGH CEILINGS (25FT OR HIGHER). PROVIDE POWER PACKS TO ACHIEVE ZONING INDICATED ON PLANS. LOCATE POWER PACKS IN ACCESSIBLE LOCATION FROM LIGHTING PANEL SERVING CIRCUITS.

WHEN POWER PACKS ARE PROVIDED, CONTRACTOR MUST PROVIDE 0-10V DIMMING WIRES FROM POWER PACK TO FIXTURE FOR CONTROL IN LIEU OF CAT5 CABLE.

MOTION SENSORS
PROVIDE MOTION SENSORS AS SHOWN ON PLANS. PROVIDE DUAL TECHNOLOGY MOTION SENSORS IN EVERY ROOM AS REQUIRED BY IECC 2015.

CONTROL STATION
ALL ROOMS SHALL HAVE A CONTROL STATION FOR CONTROL OF LIGHTS IN ROOM. IF NO CONTROL STATION IS SHOWN, ASSUME A TWO ZONE CONTROLLER FOR ROOMS LARGER THAN 9' X 9' AND A WALL MOUNT DUAL TECHNOLOGY CONTROLLER FOR ROOMS SMALLER THAN 9' X 9'.

SPACE TYPE DESCRIPTION:

GANG RESTROOMS

- PROVIDE MOTION SENSOR AS SHOWN ON PLANS. WHEN MOTION IS NOT DETECTED LIGHTS SHOULD BE DIMMED TO 25% FOR 5 MIN THEN TO 0% IF NO ADDITIONAL MOTION IS DETECTED.

SINGLE ZONE ROOMS

- PROVIDE CONTROL STATIONS AS SHOWN ON PLANS.
- ONE OVERALL ZONE TO CONTROL ALL LIGHTS IN ROOM.
- PROVIDE COMPLETE MOTION SENSOR COVERAGE. SHOP DRAWING REQUIRED.

SPECIAL SYSTEM SYMBOL SCHEDULE

NOTE:

A. REFERENCE DISTRICT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

B. THIS IS FOR GENERAL LOCATION ONLY. ALL DEVICES AND CABLING PER DISTRICT SPECIFICATIONS.

| SYMBOL | DESCRIPTION | REMARKS |
|--------|-----------------------|---------|
| Ⓢ | HAND DRYER | |
| Ⓢ | DISHWASHER | |
| Ⓢ | CIRCULATING FAN POWER | |

LIGHT FIXTURE SCHEDULE

GENERAL NOTES:

A. CONFIRM CEILING TYPE AND CONSTRUCTION PRIOR TO ORDERING LIGHT FIXTURE. PROVIDE FLANGE KIT FOR PROPER INSTALLATION OF LAY-IN FIXTURE IN GYPSUM CEILING. PROVIDE FIXTURE TYPE 'H2' IN LIEU OF FIXTURE TYP 'A2' IN ROOMS WITH NO CEILING. CHAIN HANG AT 10' A.F.F.

B. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT OF WALL MOUNTED LIGHT FIXTURES WITH ARCHITECT PRIOR TO ROUGH-IN.

C. REFER TO ARCHITECTURAL REFLECTIVE CEILING PLAN FOR EXACT LOCATION OF LIGHT FIXTURE.

D. CONFIRM FINISH WITH ARCHITECT PRIOR TO ORDERING LIGHT FIXTURES.

E. 'E' DESIGNATION ADJACENT TO LIGHTING FIXTURE TYPE INDICATES FIXTURE SHALL BE PROVIDED WITH EMERGENCY BATTERY PACK UNIT (LITHONIA PS1400 OR EQUAL). LIGHT FIXTURE SHALL BE SWITCHED, BATTERY PACK SHALL BE UNSWITCHED.

F. 'N' DESIGNATION ADJACENT TO LIGHTING FIXTURE TYPE INDICATES FIXTURE SHALL BE PROVIDED WITH EMERGENCY BATTERY PACK UNIT (LITHONIA PS1400 OR EQUAL). LIGHT FIXTURE AND BATTERY PACK SHALL BE UNSWITCHED.

G. FIXTURES SHALL HAVE A MAXIMUM OF TWO (2) LAMPS PER BALLAST.

H. CONNECT ALL EXIT LIGHTING TO THE NEAREST UNSWITCHED CIRCUIT OR THE NEAREST EMERGENCY CIRCUIT.

(*) PROVIDE UNIT PRICE FOR THIS FIXTURE. INCLUDE MATERIAL AND LABOR TO BE ADDED AT ANY TIME DURING THE PROJECT.

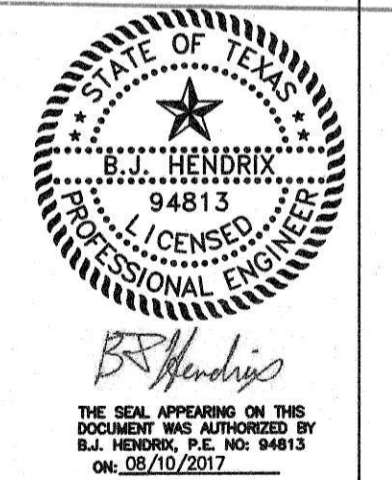
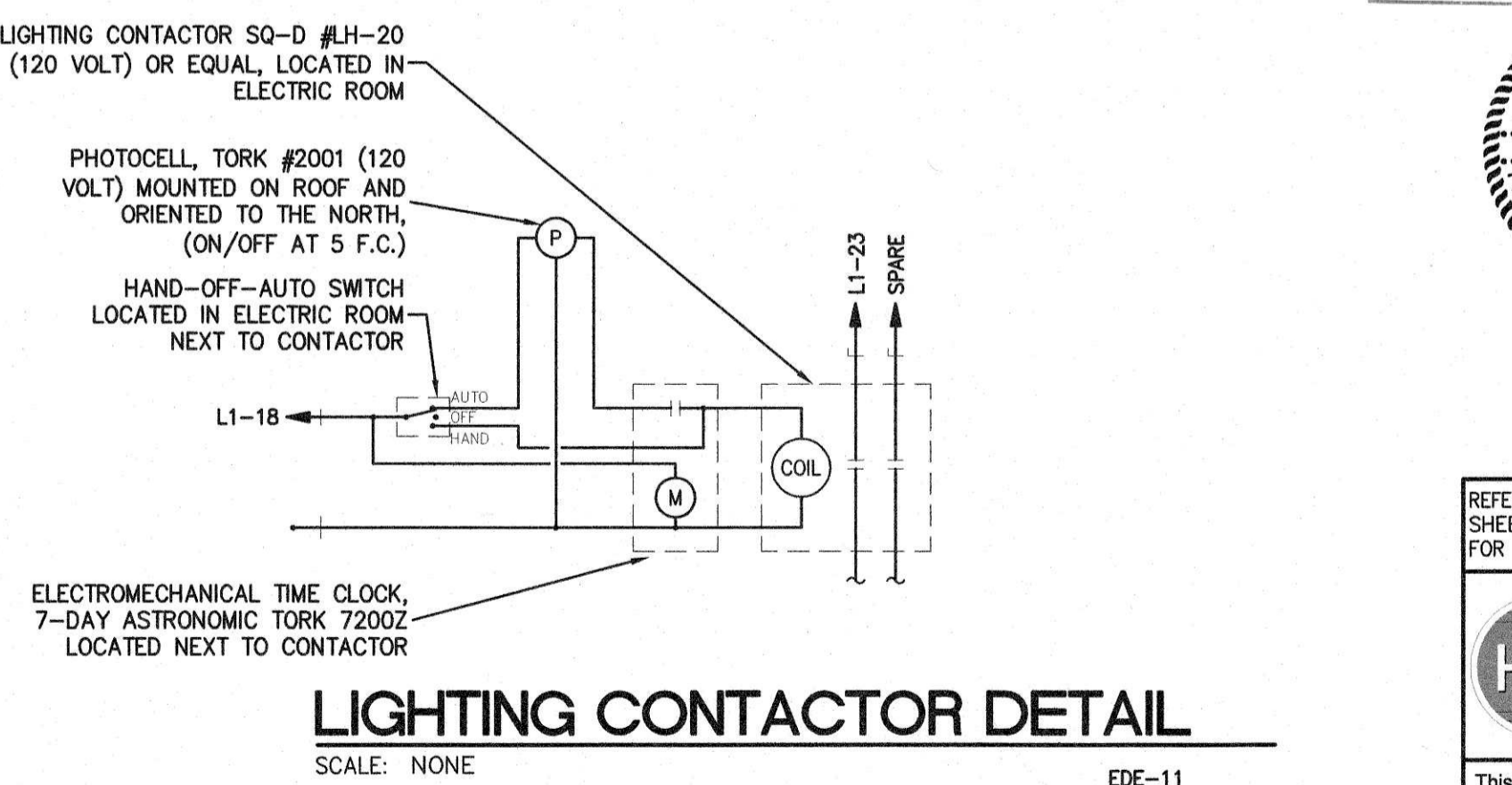
| MARK | MANUFACTURERS CATALOG NUMBER | LAMPS NO. / TYPE / WATTS | FIXTURE VOLTS / WATTS | DESCRIPTION AND COMMENTS |
|----------|---|--------------------------|-----------------------|---|
| J2 | LITHONIA VAP LED-4000LM-FST-MD-MVOLT-1XDIMMING-35K-80CRI-N100 | 1/LED 5200L/42 | MVOLT/42 | ENCLOSED LED WET LOCATION STRIP WITH ENERGY SAVING LAMPS. HIGH IMPACT LENS. WHITE FINISH. 1XDIM, NLIGHT |
| J3 | LITHONIA VAP LED-8000LM-FST-MD-MVOLT-1XDIMMING-35K-80CRI-N100 | 1/LED 6630/82 | MVOLT/82 | ENCLOSED LED WET LOCATION STRIP WITH ENERGY SAVING LAMPS. HIGH IMPACT LENS. WHITE FINISH. 1XDIM, NLIGHT |
| L1 | LITHONIA LDN6-35-1000-L06-AR-MVOLT | 1/LED 1000 LUMENS/18 | MVOLT/18 | 6" LED DOWNLIGHT SEMI SPECULAR REFLECTOR, TRIM TO MATCH CANOPY OR SILVER. PROVIDE 'EL' BATTERY WHEN SPECIFIED. |
| T1 (led) | VISIONAIRE LIGHTING VSC-1-T2-32-530-4000K-UNV-WM-SL-PC120 | 1/LED ENGINES/54 | MVOLT/54 | SLIM ARCHITECTURAL WALL MOUNTED LED FIXTURE WITH DIE CAST ALUMINUM HOUSING, ALUMINUM REFLECTOR WITH FULL CUT-OFF, HIGH EFFICIENCY DRIVER, DARK BRONZE FINISH. COORDINATE FINAL HEIGHT WITH ARCHITECTURAL. |
| X1 | LITHONIA LESW-1R-MVOLT-ELN | INCLUDED | MVOLT/5 | LED SINGLE FACE EXIT SIGN WITH DIE CAST ALUMINUM HOUSING, EMERGENCY BATTERY PACK. WHITE FINISH. |
| Y1 | LITHONIA ELM2-LED | INCLUDED | MVOLT/20 | EMERGENCY EGRESS FIXTURE WITH POLYCARBONATE HOUSING, EMERGENCY BATTERY PACK AND AMMETER. WHITE FINISH. MOUNT FIXTURE ON WALL, AS HIGH AS POSSIBLE. CONNECT TO NEAREST UNSWITCHED 120 VOLT CIRCUIT. |

CEILING FANS

CEILING FAN (CF-1, 2):
HUNTER ORIGINAL CLASSIC CEILING FAN MANUFACTURED BY HUNTER. 52" DIAMETER. PROVIDE PROPER LENGTH MOUNTING STEM FOR HEIGHT SPECIFIED ON PLANS. KEEP MANUFACTURER MINIMUM CLEARANCE BETWEEN FAN BLADES AND CEILING. FAN SPEED IS VARIABLE. FANS TO BE BROWN, BLADES BROWN, IF LIGHT KIT IS CALLED FOR MUST BE APPROVED BY ARCHITECT. CONTACT MIKE AT "TEXAS CEILING FAN" 512-477-3132. (QUANTITY PER PLANS). COORDINATE STEM LENGTHS WITH FINAL MOUNTING HEIGHT. PROVIDE \$100 ALLOWANCE PER LIGHT KIT. NO EXCEPTIONS ON FAN MODEL.

BROWN - #23847
WHITE - #23845
BLACK - #23838

| MARK NO. | STOCK / MODEL NUMBER | MAX RPM | HP | VOLT/PH/AMPS | BLADE DIAMETER | WEIGHT |
|----------|------------------------------|---------|----------|--------------|----------------|--------|
| CF-1 | HUNTER ORIGINAL #23847 (BRN) | | FRACTION | 120/1/1.1 | 52" | 30 |



REFERENCE GENERAL NOTES ON SHEETS M1.1, P1.1 AND E1.1 FOR ADDITIONAL INFORMATION



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HCE job no.: 17-026



CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
BID - 8/10/2017

REVISIONS
CITY OF DEER PARK
Date Received
AUG 11 2017

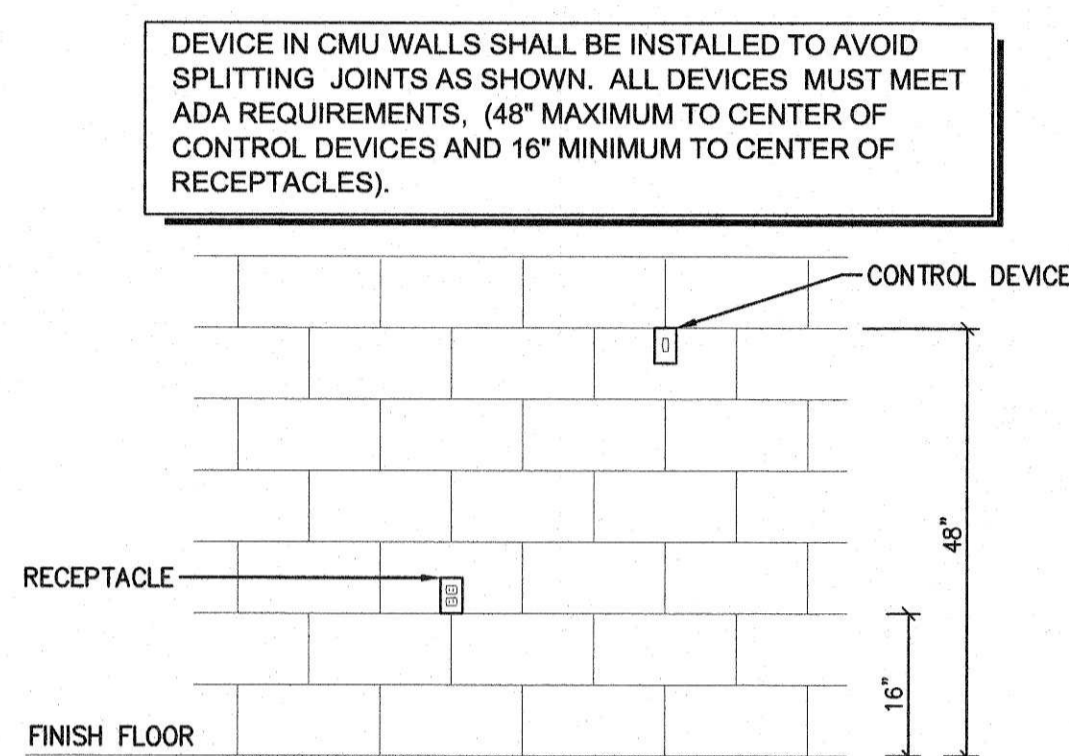
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PROJECT NUMBER
16123-00

DATE ISSUED
8/10/2017

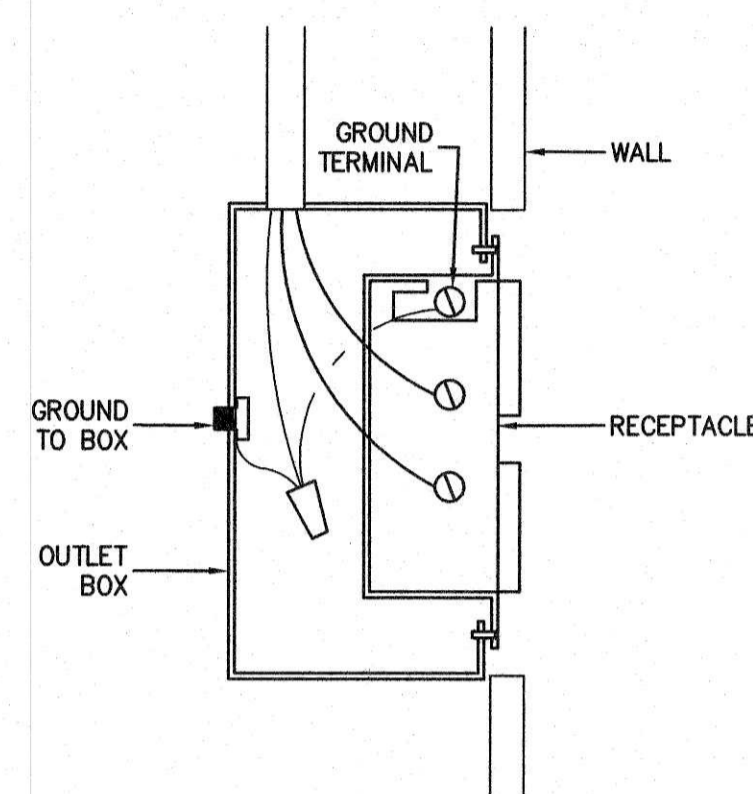
SHEET TITLE
SCHEDULES - ELECTRICAL

SHEET NUMBER
E-1.2



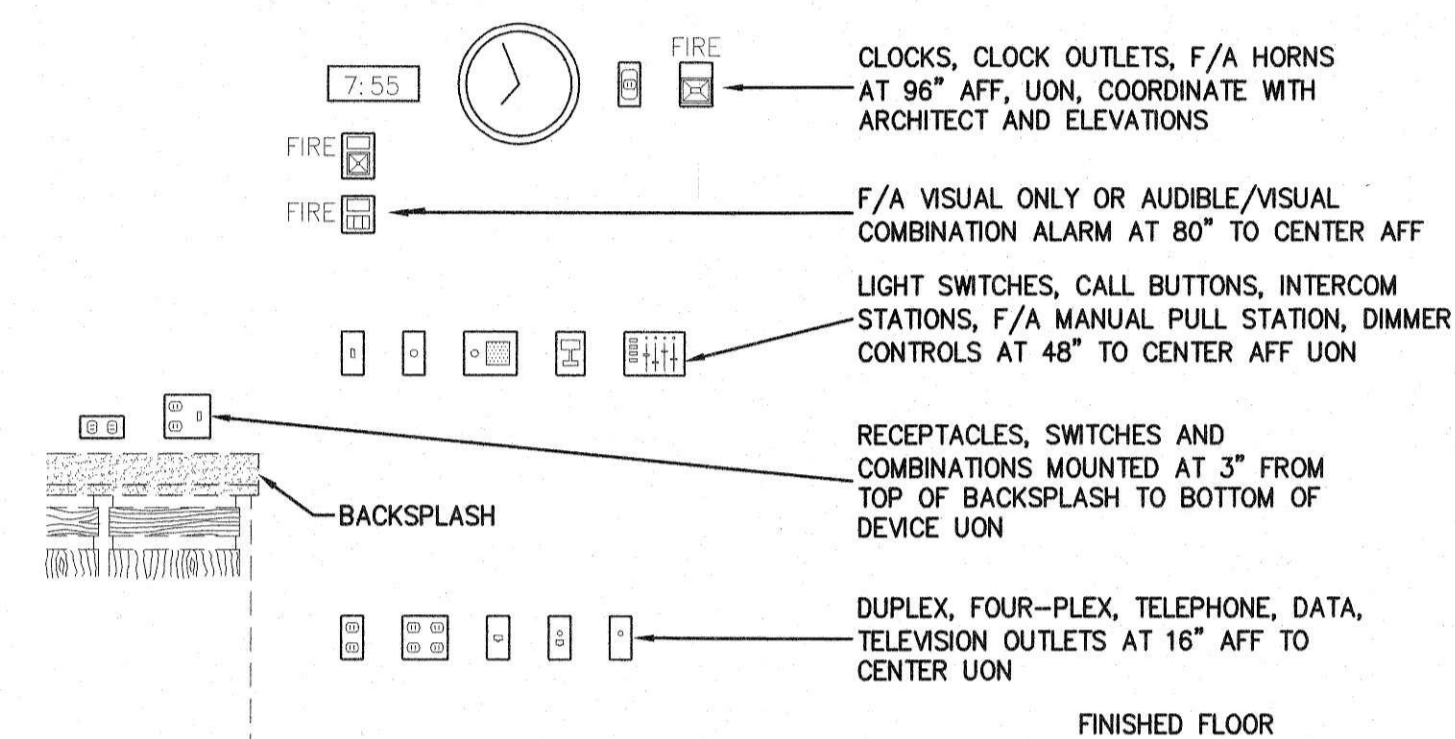
CMU DEVICE DETAIL

NO SCALE EDE-59



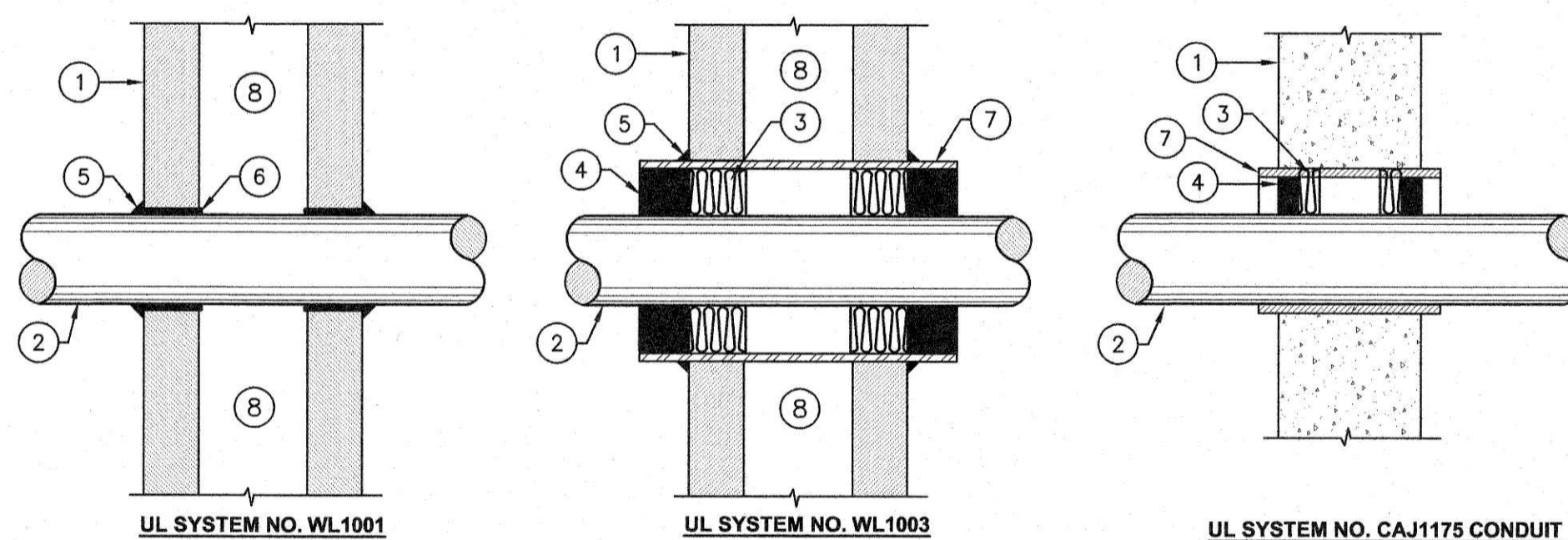
RECEPTACLE GROUNDING DETAIL

NO SCALE EDE-57



MOUNTING HEIGHT DETAIL

NO SCALE EDE-10



UL SYSTEM NO. WL1001

UL SYSTEM NO. WL1003

UL SYSTEM NO. CAJ1175 CONDUIT

KEYED NOTES

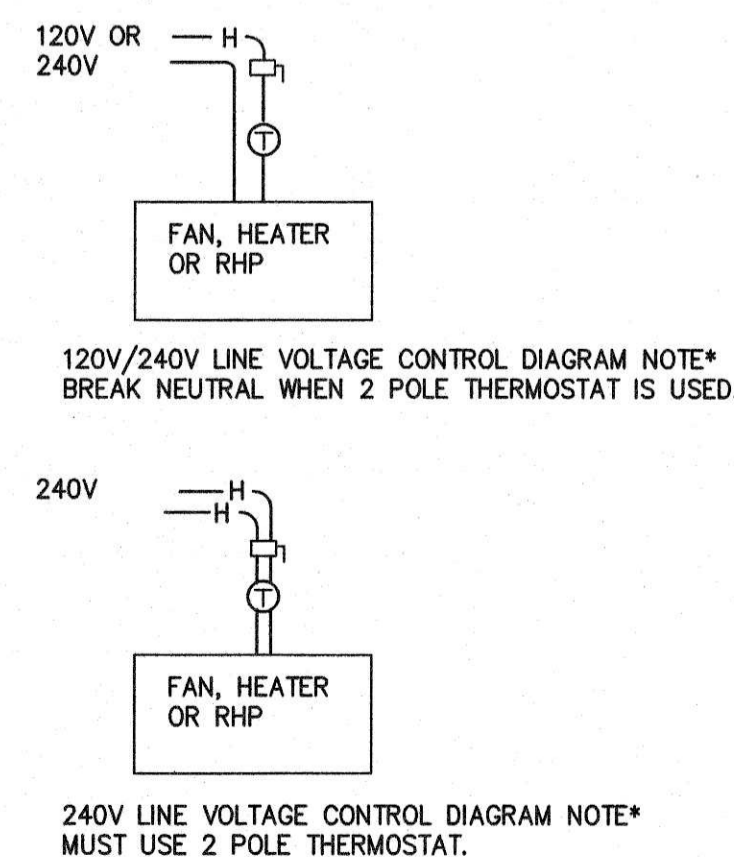
- 1 RATED WALL BARRIER
- 2 PIPE OR CONDUIT
- 3 FORMING MATERIAL (MINERAL - WOOL BATT INSULATION)
- 4 FIRE CAULK
- 5 FIRE CAULK - CONTINUOUS BEAD AROUND PENETRATING ITEM
- 6 FIRE CAULK - CONTINUOUSLY FILL ANNULAR SPACE BETWEEN PIPE OR CONDUIT THROUGHOUT THICKNESS OF WALL BOARD LAYERS
- 7 SLEEVE FOR UL SYSTEM NO. WL1003, OPTIONAL FOR UL SYSTEM NO. CAJ1175
- 8 WALL CAVITY

GENERAL NOTES

- A. REFERENCE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF ALL RATED WALLS, FLOORS AND CEILINGS.
- B. REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION CONCERNING MATERIALS AND METHODS.
- C. REFERENCE UL FIRE RESISTANCE DIRECTORY FOR ADDITIONAL DATA, INCLUDING WALL RATINGS FOR WHICH DETAILS ARE AND SUPPORT REQUIREMENTS.
- D. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH UL SYSTEM NUMBER AND MANUFACTURER'S INSTRUCTIONS PROVIDED WITH MATERIALS.
- E. ONLY MATERIALS TESTED FOR SPECIFIC UL SYSTEM NUMBER MAY BE USED.
- F. ANNULAR SPACE BETWEEN FIRE BARRIER SURFACE AND PENETRATING ITEM IS EXTREMELY CRITICAL. REFER TO PARTICULAR UL SYSTEM NUMBER AND FIRE RATING FOR THIS CRITERIA.

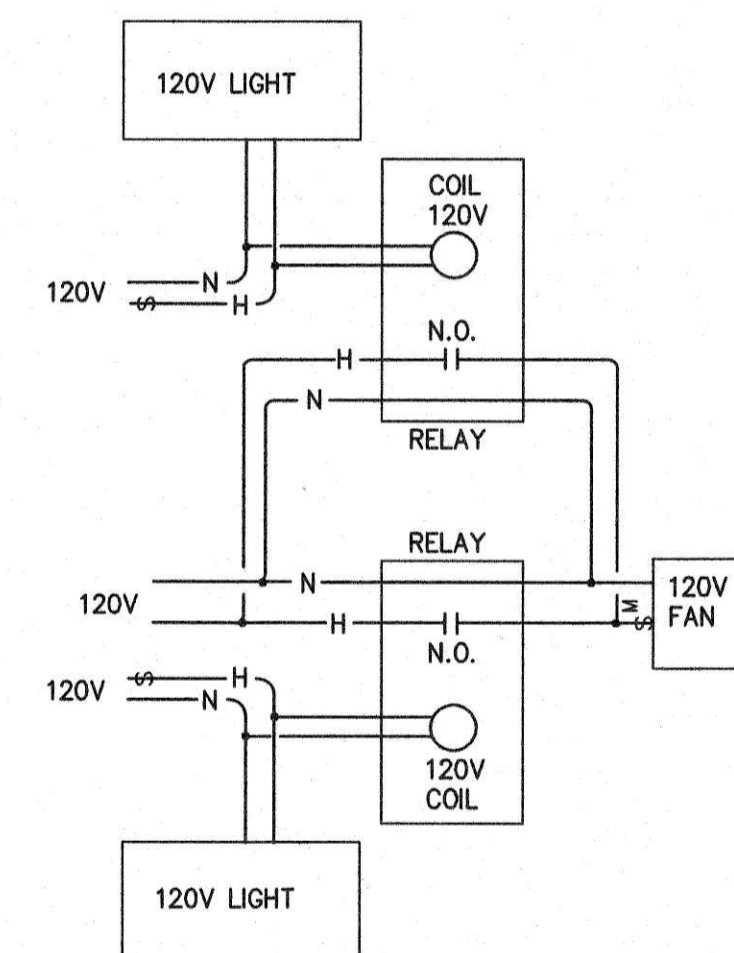
TYPICAL CONDUIT PENETRATION

NO SCALE (FIRE RATED GYPSUM/STUD WALL ASSEMBLY AND CONCRETE WALL/FLOOR ASSEMBLY) EDE-96

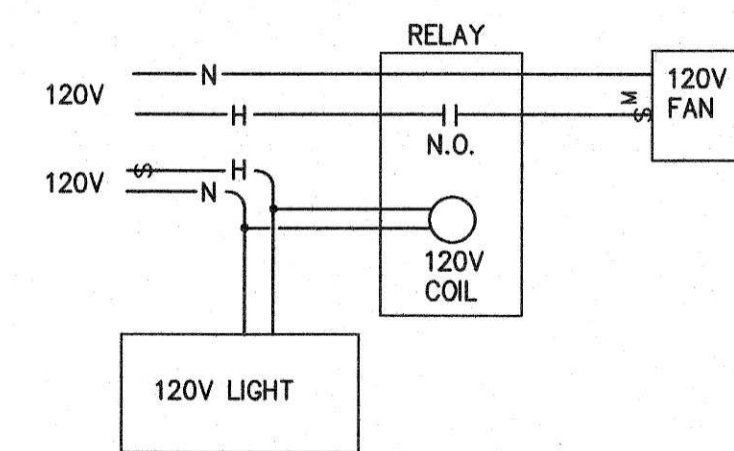


EXHAUST FAN/HEATER CONTROL

SCALE: NONE EDE-90

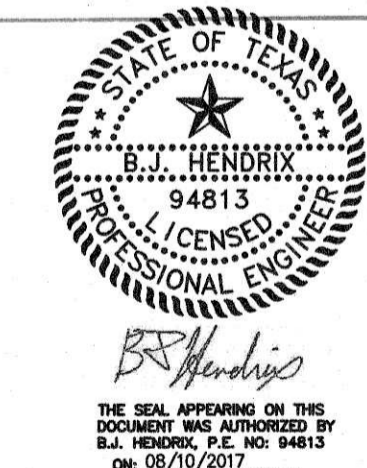


SINGLE 120V FAN CONTROLLED WITH 120V LIGHTS IN DIFFERENT ROOMS ADD 1 RELAY PER ADDITIONAL ROOM AS REQUIRED.



120V FAN CONTROLLED WITH 120V LIGHT ON SEPARATE CIRCUIT. IF FAN AND LIGHT ARE BOTH ON SAME CIRCUIT SIMPLE WIRE IN PARALLEL.

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT
 AUG 14 2017
 CITY OF DEER PARK DATE



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CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
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CITY OF DEER PARK
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AUG 11 2017

ENGINEERING DEPARTMENT

PROJECT NUMBER
16123-00
DATE ISSUED
8/10/2017

SHEET TITLE
DETAILS - ELECTRICAL

SHEET NUMBER

E-1.4

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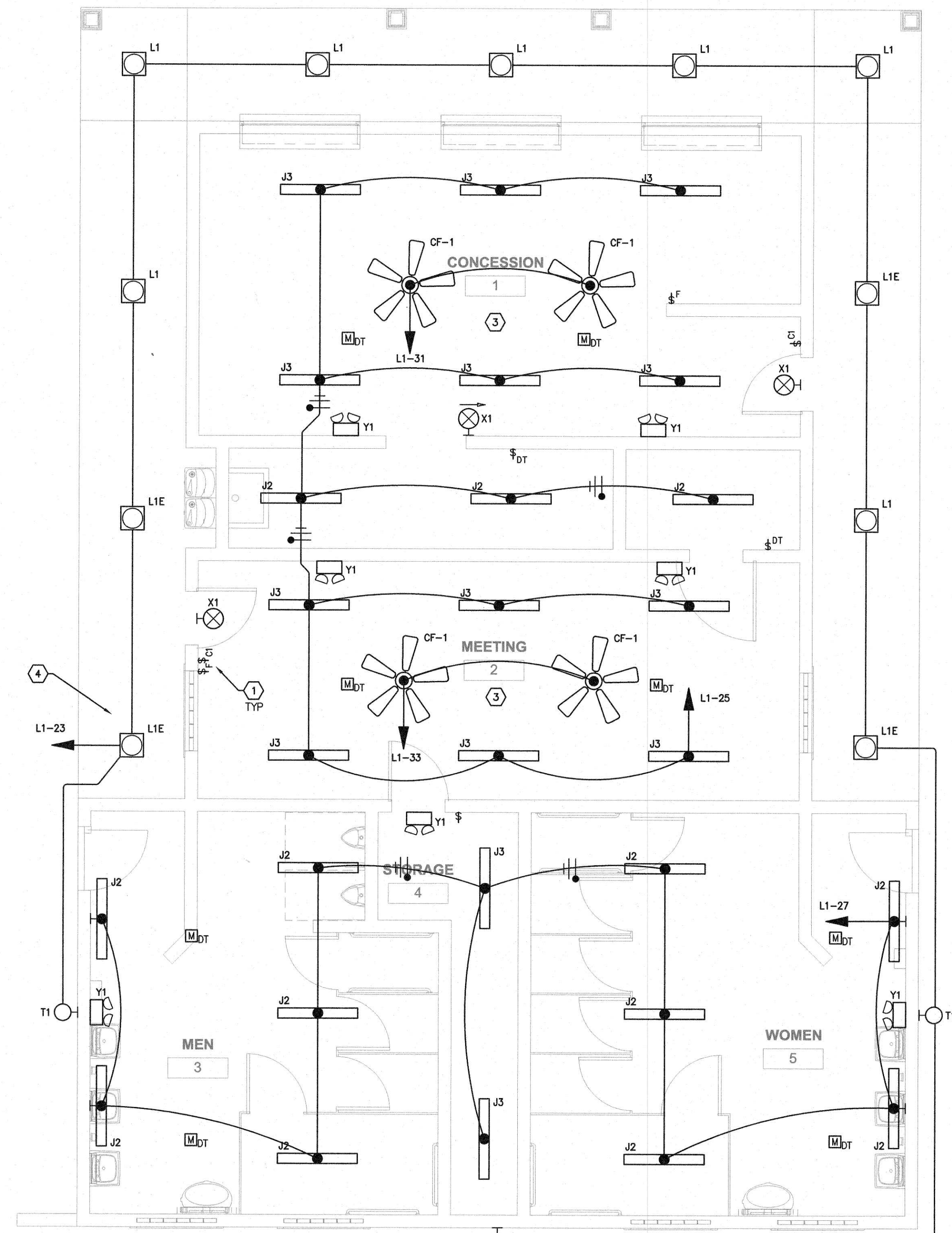
KEYED NOTES

THESE NOTES APPLY TO THIS SHEET ONLY

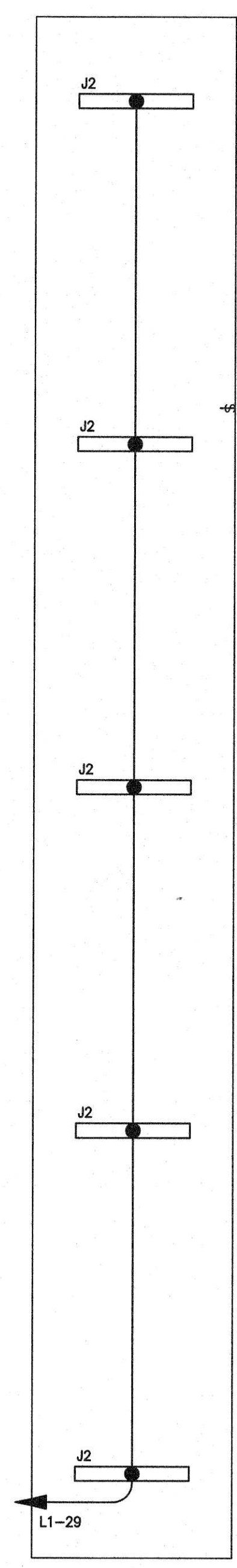
- ① LOW VOLTAGE LIGHTING CONTROL BUTTON, REFERENCE MISCELLANEOUS EQUIPMENT SCHEDULE AND NLIGHT INTERIOR LIGHTING SCHEDULE.
- 2 FIELD COORDINATE EXACT MOUNTING HEIGHT OF EXTERIOR FIXTURES WITH ARCHITECT AT ROUGH-IN.
- 3 COORDINATE LIGHTS AND FANS TO AVOID STROBING.
- 4 REFERENCE LIGHTING CONTACTOR DETAIL FOR EXTERIOR LIGHTING CONTROL INFORMATION.
- 5 APPROXIMATE LOCATION OF MANUAL LIGHT SWITCH FOR MEZZANINE SERVICE LIGHTS AT TOP OF STAIRS TO MEZZANINE. COORDINATE FINAL LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.



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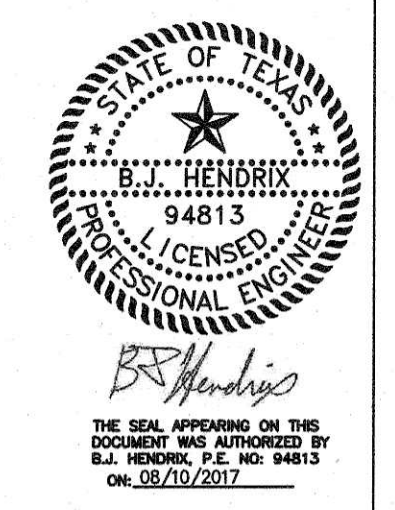
01 FLOOR PLAN - LIGHTING
SCALE: 1/4" = 1'-0"



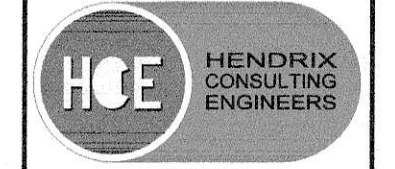
02 MEZZANINE - LIGHTING
SCALE: 1/4" = 1'-0"

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT

 CITY OF DEER PARK AUG 14 DATE



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HCE job no.: 17-026

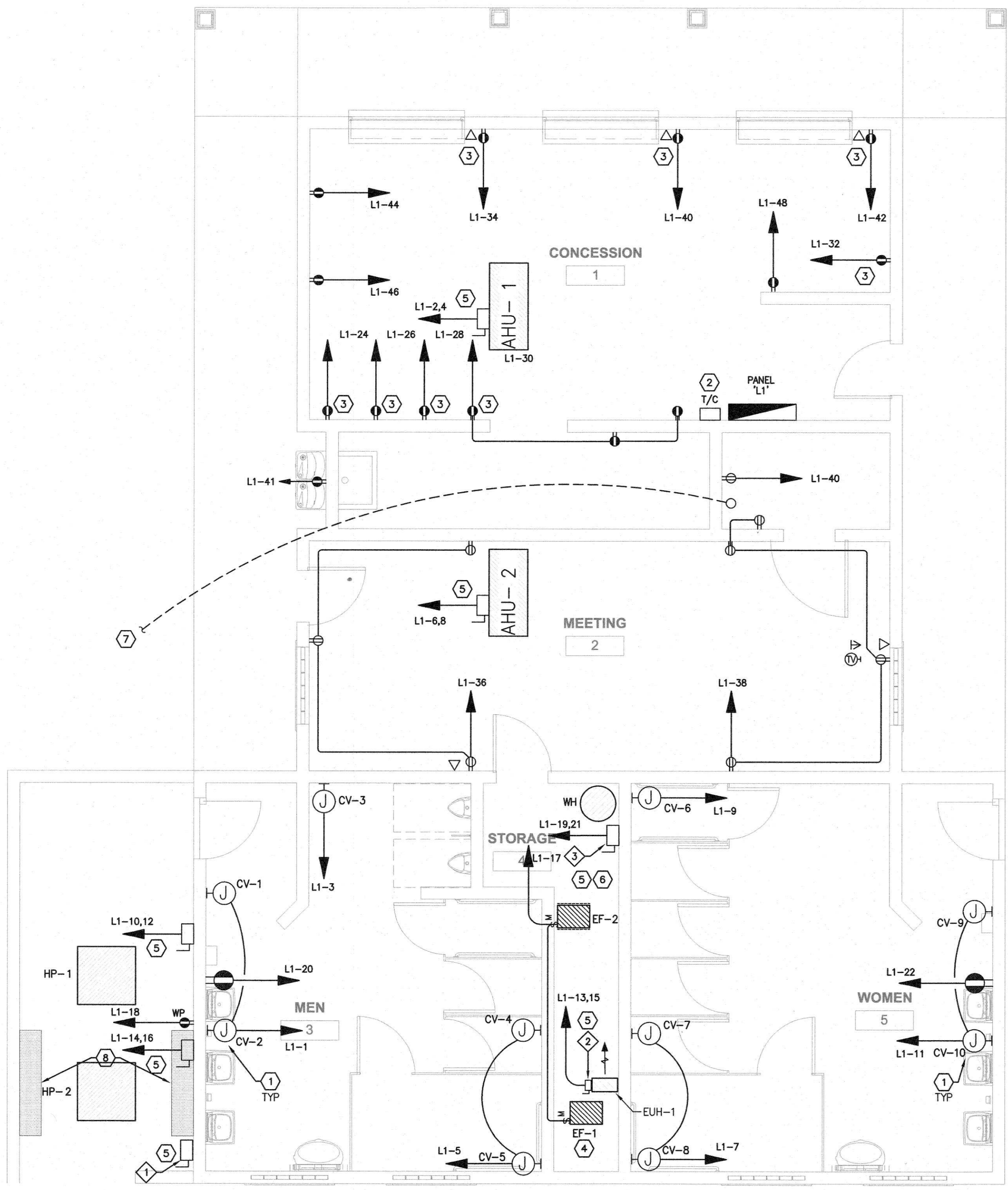
CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1
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PROJECT NUMBER
16123-00
 DATE ISSUED
8/10/2017
 SHEET TITLE
FLOOR PLAN - LIGHTING
 SHEET NUMBER
E-2.1

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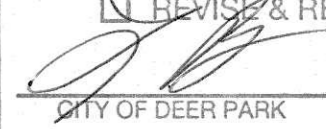
01 FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"

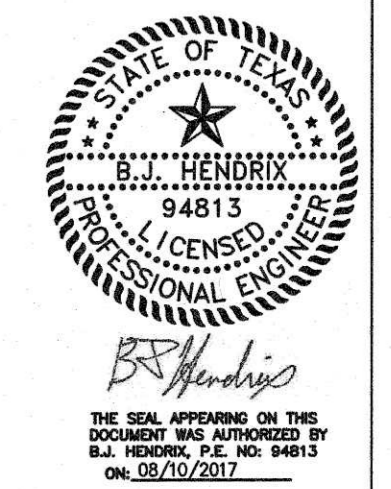
KEYED NOTES

THESE NOTES APPLY TO THIS SHEET ONLY

- ① FIELD COORDINATE PLACEMENT OF J-BOXES AND DISCONNECTING MEANS FOR COVE HEATERS WITH MECHANICAL CONTRACTOR. DISCONNECTING MEANS MAY BE A SNAP SWITCH AT EACH LOCATION AND SHALL BE LOCATED HIGH ON THE WALL AT THE END OF THE COVE HEATER.
- 2 TIME CLOCK PER LIGHTING CONTACTOR DETAIL. PROVIDE WITH NEMA 3R WEATHERPROOF ENCLOSURE.
- 3 COORDINATE FINAL RECEPTACLE LOCATIONS WITH MILLWORK PRIOR TO ROUGH-IN. REVIEW FINAL ARCHITECTURAL INTERIOR ELEVATIONS FOR FINAL LAYOUTS OF EQUIPMENT TO BE POWERED.
- 4 REFERENCE MECHANICAL FAN SCHEDULE FOR CONTROL OF EXHAUST FANS.
- 5 COORDINATE DISCONNECT LOCATION WITH ALL TRADES PRIOR TO ROUGH-IN. REFERENCE DISCONNECT SCHEDULE FOR ADDITIONAL REQUIREMENTS FOR ALL DISCONNECT SWITCHES.
- 6 FIELD COORDINATE PLACEMENT OF DISCONNECTING MEANS FOR WATER HEATERS.
- 7 ONE 2" CONDUIT FOR SITE TECHNOLOGY. COORDINATE CONNECTION POINT WITH OWNER/ SITE CONTRACTOR.

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT


 CITY OF DEER PARK DATE: **AUG 14 2017**



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HCE job no.: 17-026

REFERENCE MECHANICAL FAN SCHEDULE FOR EXHAUST FAN SWITCHING REQUIREMENTS

FOR LOCATIONS WHERE POWER AND DATA ARE SHOWN TOGETHER, DEVICE ROUGH-IN IS TO BE A MAXIMUM OF 6" APART. PROVIDE CADDY BRACKETS AS REQUIRED.

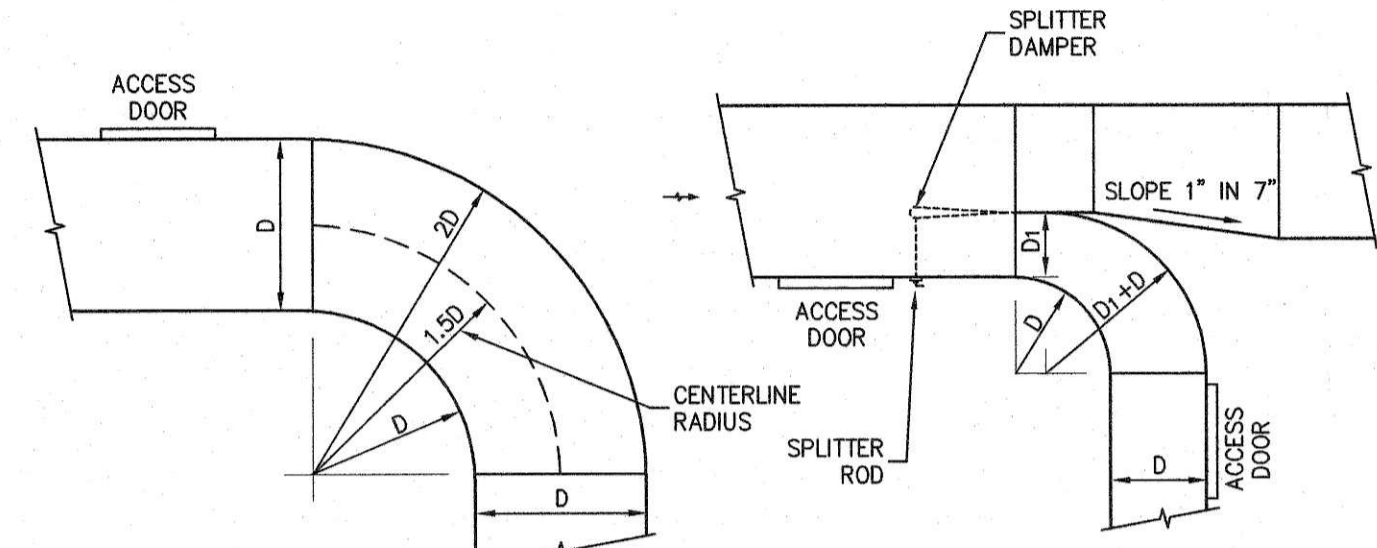
CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
 BID - 8/10/2017
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AUG 11 2017
 ENGINEERING DEPARTMENT

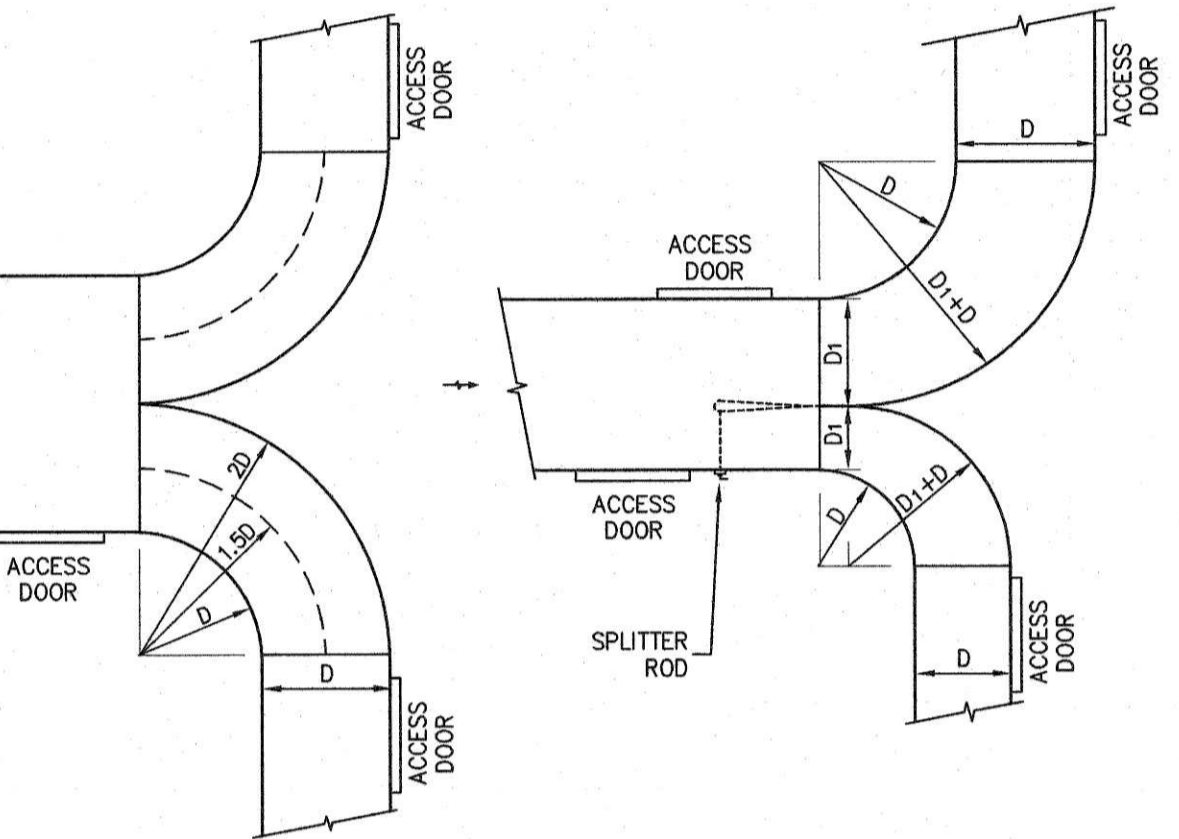
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 DATE ISSUED
8/10/2017
 SHEET TITLE
FLOOR PLAN - POWER
 SHEET NUMBER

E-3.1



LONG RADIUS RECTANGULAR ELBOW

UNEQUAL SPLIT LONG RADIUS

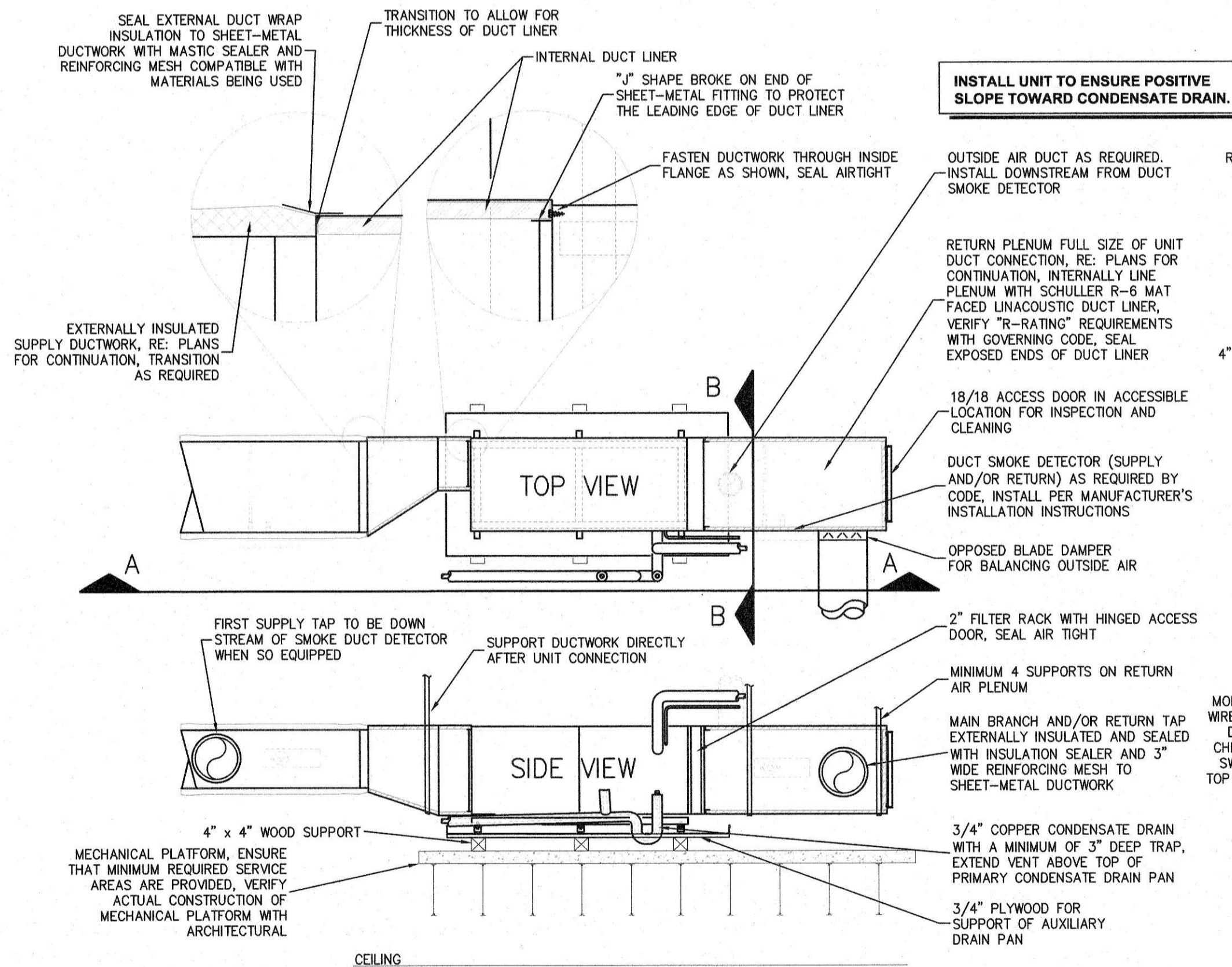


EQUAL SPLIT LONG RADIUS

UNEQUAL SPLIT LONG RADIUS

SPLITTER DETAIL

NO SCALE



MECHANICAL PLATFORM AIR HANDLING UNIT DETAIL

NO SCALE

MDE126

LOUVERS

LOUVER (L):
GREENHECK MODEL ESD-403, 4 INCH DEEP EXTRUDED ALUMINUM CONSTRUCTION. VERIFY FINISH WITH ARCHITECT PRIOR TO ORDERING. COORDINATE FRAME TYPE WITH ARCHITECT AND BUILDING CONSTRUCTION. PROVIDE WITH 1/8" X 1/8" GALVANIZED HARDWARE CLOTH BEE SCREEN.

| MARK NO. | SIZE (W x H) | | | | | | | |
|----------|--------------|--|--|--|--|--|--|--|
| L-1 | 36 x 20 | | | | | | | |

COVE HEATERS

COVE HEATER (CV):
MARKEL ELECTRIC COVE HEATER CONSTRUCTED OF .962" THICK ALUMINUM. THE HEATER SURFACE SHALL BE CONCAVE IN CONTOUR AND SAW-TOOTH IN PROFILE. THE FINISH SHALL BE OF BAKED WHITE ENAMEL. THE HEATERS SHALL BE AVAILABLE IN RATINGS FROM 450 THROUGH 1250 WATTS, AT 120, 240, 208 AND 277 VOLTS. THE HEATING ELEMENT SHALL BE OF NICHROME WIRE, EMBEDDED IN MAGNESIUM OXIDE POWDER, ENCLOSED AND SEALED IN ALUMINUM METAL TUBING. THE HEATER SHALL BE LISTED BY UNDERWRITERS LABORATORIES, INC. AND THE ELEMENTS SHALL BE SUPPLIED WITH A ONE YEAR LIMITED WARRANTY. PROVIDE WALL MOUNTED LINE VOLTAGE THERMOSTAT.

| MARK NO. | MARKEL MODEL NO. | WATTS GRs | VOLTS | LENGTH | WEIGHT | NOT USED |
|----------|------------------|-----------|-------|--------|--------|----------|
| CV-1 | CV7512X | 750 | 120/1 | 72" | 13 | |
| CV-2 | CV7512X | 750 | 120/1 | 72" | 13 | |
| CV-3 | CV7512X | 750 | 120/1 | 72" | 13 | |
| CV-4 | CV7512X | 750 | 120/1 | 72" | 13 | |
| CV-5 | CV7512X | 750 | 120/1 | 72" | 13 | |
| CV-6 | CV7512X | 750 | 120/1 | 72" | 13 | |
| CV-7 | CV7512X | 750 | 120/1 | 72" | 13 | |
| CV-8 | CV7512X | 750 | 120/1 | 72" | 13 | |
| CV-9 | CV7512X | 750 | 120/1 | 72" | 13 | |
| CV-10 | CV7512X | 750 | 120/1 | 72" | 13 | |

ELECTRIC UNIT HEATERS

ELECTRIC UNIT HEATER (EUH):
MANUFACTURED BY MARKEL WITH MOUNTING BRACKETS, DUST SHIELD, POWER DISCONNECT AND BUILT-IN THERMOSTAT. MOUNT NEAR BOTTOM TRUSSES.

| MARK NO. | MODEL NO. | KW | VOLT/PH | APPROX. WT. |
|----------|-----------|-----|---------|-------------|
| EUH-1 | HF1B5103N | 3.3 | 208/1 | 35 |

FAN SCHEDULE

EFSCH

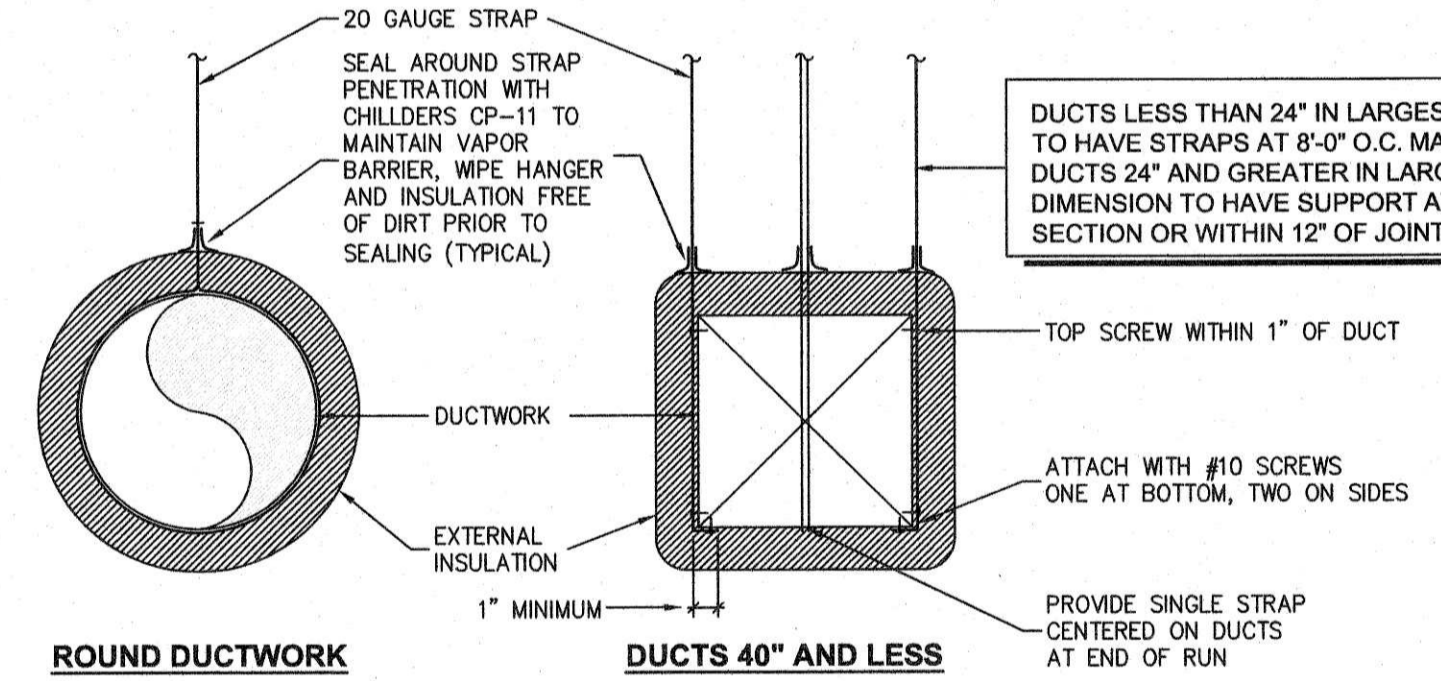
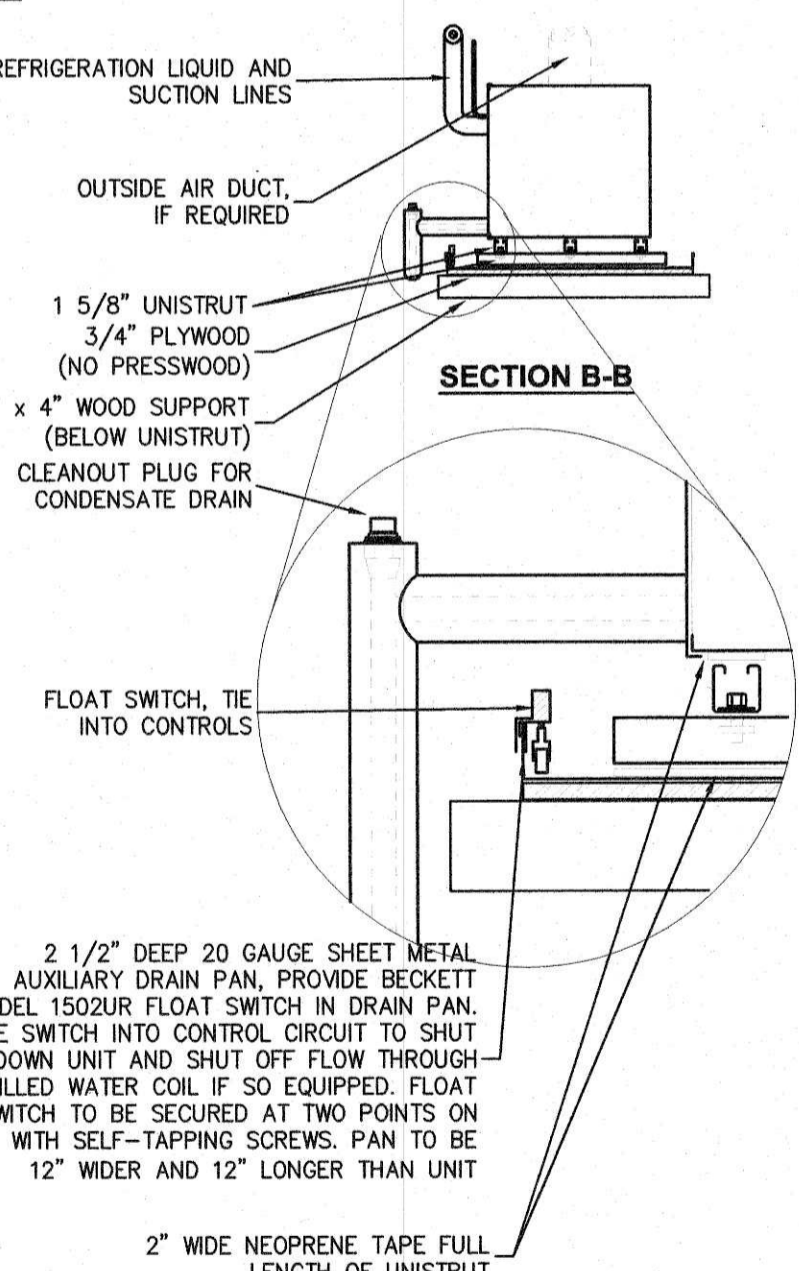
| MARK NO. | GREENHECK MODEL NO. | CFM | S.P. | RPM | DRIVE | H.P. | VOLT/PH | WATTS OR AMPS | ACCESSORIES |
|----------|---------------------|-----|-------|-----|--------|------|---------|---------------|-------------|
| EF-1 | CSP-A1750 | 900 | 0.375 | 913 | DIRECT | - | 115/1 | 199 | 12 |
| EF-2 | CSP-A710-VG | 450 | 0.375 | 976 | DIRECT | - | 115/1 | 325 | 13 |

STANDARD NOTES - APPLIES TO ALL FANS

- BALANCE ALL FANS TO ACTUAL CFM SHOWN ON FLOOR PLANS.
- BIRD SCREEN.
- FANS INSTALLED ON METAL STANDING SEAM ROOFS: ROOF CURB IS TO BE FURNISHED, INSTALLED, FLASHED AND COUNTER FLASHED BY ROOFING CONTRACTOR. MECHANICAL CONTRACTOR IS TO COORDINATE SIZE AND LOCATION. CURB IS TO EXTEND A MINIMUM OF 12" ABOVE FINISHED ROOF ON SHORT SIDE.
- FANS INSTALLED ON BUILT-UP ROOF: ROOF CURB IS TO BE FLASHED AND COUNTER FLASHED BY ROOFING CONTRACTOR. MECHANICAL CONTRACTOR IS TO FURNISH AND INSTALL ROOF CURB AND COORDINATE LOCATION. CURB IS TO EXTEND A MINIMUM OF 12" ABOVE FINISHED ROOF ON SHORT SIDE.
- FACTORY DISCONNECT.
- PROVIDE EACH ROOF MOUNTED FAN WITH OPPOSED BLADE DAMPER WITH HEAVY DUTY MOTORIZED ACTUATOR (MATCH FAN VOLTAGE) UNLESS SPECIFICALLY NOTED OTHERWISE. ELECTRICAL CONTRACTOR TO TIE DAMPER ACTUATOR IN TO FAN POWER.
- UNIT WEIGHT LESS THAN 100 LBS. UNLESS NOTED OTHERWISE.
- COORDINATE ALL FINAL FAN LOCATIONS AND FRAMING WITH STRUCTURAL.
- ALL ALTERNATE MANUFACTURER'S FANS MUST OPERATE WITH CFM, RPM AND HP RANGE AS FANS LISTED ABOVE TO ALLOW FLEXIBILITY. FANS MAY NOT BE DOWN SIZED.
- FAN SPEED CONTROL (MOUNTED UNDER DOME ON ROOF FANS OR NEXT TO CABINET FANS FOR ALL DIRECT DRIVE FANS). DUCT DROPS ARE TO BE FULL SIZE OF DAMPER OR SIZED AT .08" SP WHICHEVER IS GREATER OR AS SPECIFICALLY NOTED.
- POWDER COATED METAL IS NOT ALLOWED TO BE USED IN LIEU OF GALVANIZED UNLESS SPECIFICALLY SCHEDULED.
- EXHAUST FANS / OUTLETS TO BE LOCATED A MINIMUM OF 10' AWAY FROM OUTSIDE AIR INTAKES OR AS REQUIRED BY LOCAL CODES.
- PROVIDE WITH MOTORIZED BACK DRAFT DAMPER.

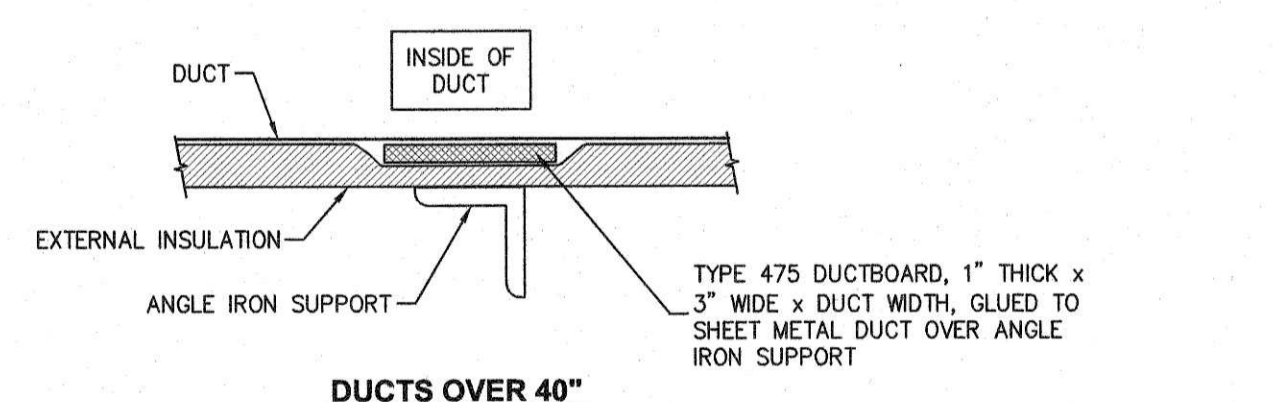
ACCESSORIES AND NOTES

- UPBLAST GREASE FAN ACCESSORIES: FAN TO BE UL AND cUL LISTED FOR GREASE REMOVAL, HEAT Baffle, BIRD GUARD, HINGE KIT, DRAIN CONNECTION, GREASE TRAP AND VENTED CURB EXTENSION (MUST MEET THE NFPA 96 REQUIREMENT FOR A 40' DISCHARGE HEIGHT). PROVIDE WITH SEPARATE CURB FROM ANY SUPPLY FAN.
- KITCHEN SUPPLY FAN ARRANGEMENT "DB" ACCESSORIES: EXHAUST FAN AND SUPPLY FAN TO BE MOUNTED ON SEPARATE CURBS AND PROVIDE MOPPED IN EQUIPMENT SUPPORT RAIL WITH GALVANIZED UNISTRUT SUPPORT FOR WEATHER HOOD, MOTORIZED INTAKE DAMPER, SPACER SECTION (TO MAINTAIN 10 FEET SEPARATION FROM EXHAUST FAN), FILTER SECTION THAT ACCOMMODATES 2" FILTERS, WEATHER HOOD, SUPPLY FAN INTERLOCKED TO RUN WITH KITCHEN EXHAUST FAN. KITCHEN EXHAUST FAN IS TO RUN AND SUPPLY FAN IS TO GO OFF IN THE EVENT THAT A FIRE IS DETECTED. FURNISH WITH REMOTE OR FAN CASING MOUNT PREWIRED KITCHEN FAN CONTROL CENTER WITH STARTERS, DISCONNECTS, CONTROL TRANSFORMERS, AND SINGLE POINT ELECTRICAL CONNECTION. ELECTRICAL CONTRACTOR TO MAKE ALL CONTROL AND LINE VOLTAGE TERMINATIONS AND FEED THROUGH CONNECTIONS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM. 120 VOLT CONTROL VOLTAGE FOR HOOD FAN PACKAGE IS TO BE OBTAINED FROM HOOD LIGHTING CIRCUIT.
- DIRECT FIRED GAS HEAT.
- ELECTRIC HEAT.
- PERFORATED Baffle INSTALLED AT INLET.
- GRAVITY BACK DRAFT DAMPER.
- RADIATION DAMPER (CEILING MOUNTED FANS).
- COMBINATION NEOPRENE / SPRING VIBRATION ISOLATION.
- INLET GUARD.
- BELT GUARD.
- MAGNETIC MOTOR STARTER.
- SWITCHED WITH LIGHTS BY ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR TO PROVIDE ALL RELAYS AND APPLURTEANCES.
- SWITCHED BY SPRING WOUND TIMER (1 HR MAX) PROVIDED BY ELECTRICAL CONTRACTOR. LOCATE NEXT TO ROOM LIGHT SWITCH UNLESS OTHERWISE NOTED.
- SWITCHED BY WALL SWITCH WITH PILOT LIGHT BY ELECTRICAL CONTRACTOR. LOCATE NEXT TO ROOM LIGHT SWITCH UNLESS OTHERWISE NOTED.
- SWITCHED BY HOOD MOUNTED SWITCH WITH PILOT LIGHT BY ELECTRICAL CONTRACTOR.
- SWITCHED BY THERMOSTAT. THERMOSTAT PROVIDED BY MECHANICAL CONTRACTOR. INSTALLED BY ELECTRICAL CONTRACTOR.
- CONTROLLED BY ENERGY MANAGEMENT SYSTEM.
- 120V/1PH MOTORIZED DAMPER FOR INLINE FAN TIED IN TO FAN POWER.
- EXPLOSION PROOF FAN, WIRE TO RUN CONTINUOUSLY
- PERFORATED Baffle INSTALLED AT INLET.
- INTERLOCKED WITH DISHWASHER.
- DRYER BOOSTER FAN. PROVIDE ALL CONTROLS AND INTERLOCKING WIRING REQUIRED FOR A COMPLETE OPERABLE SYSTEM.
- SIDEWALL PROPELLER FAN PROVIDE WITH HOUSING, MOTORIZED BACKDRAFT DAMPER, INTEGRAL DISCONNECT, MOTOR SIDE GUARD AND TRANSITIONS AS REQUIRED TO CONNECT TO WALL LOUVER.



ROUND DUCTWORK

DUCTS 40" AND LESS



DUCTS OVER 40"

DUCT DETAILS

NO SCALE

APPROVED AS NOTED
DISAPPROVED
REVISE & RESUBMIT
AUG 14 2017
CITY OF DEER PARK



REFERENCE GENERAL NOTES ON SHEETS M1.1, P1.1 AND E1.1 FOR ADDITIONAL INFORMATION



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HCE job no.: 17-026

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CONCESSION / RESTROOM BUILDING

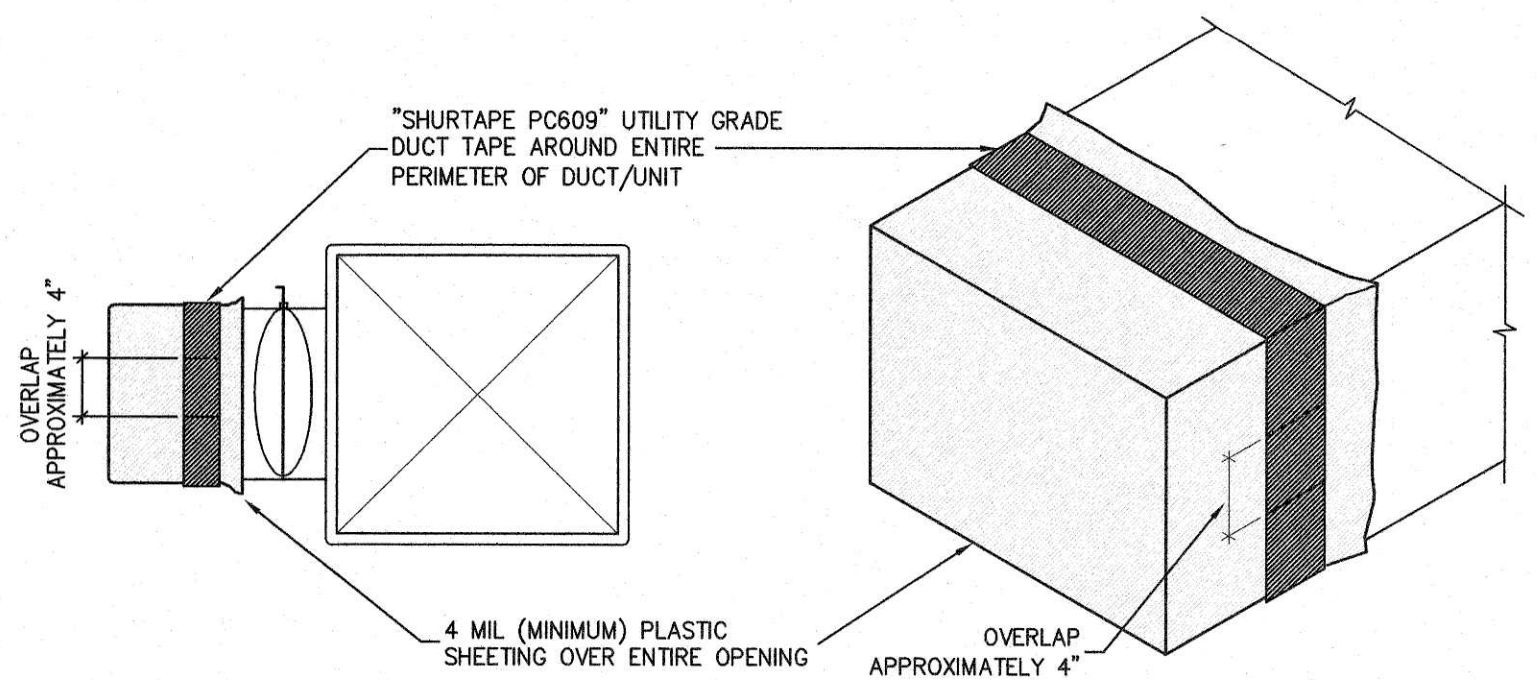
SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
BID - 8/10/2017
REVISIONS
CITY OF DEER PARK
Date Received
AUG 11 2017
ENGINEERING DEPARTMENT

PROJECT NUMBER
16123-00
DATE ISSUED
8/10/2017
SHEET TITLE
SCHEDULES - MECHANICAL
SHEET NUMBER

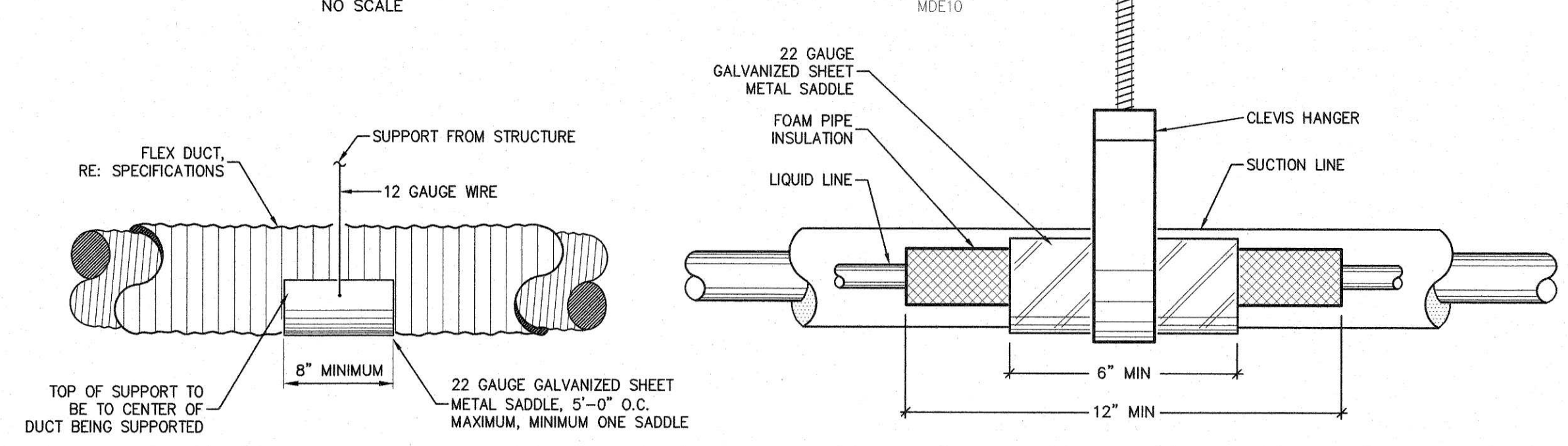
M-1.2

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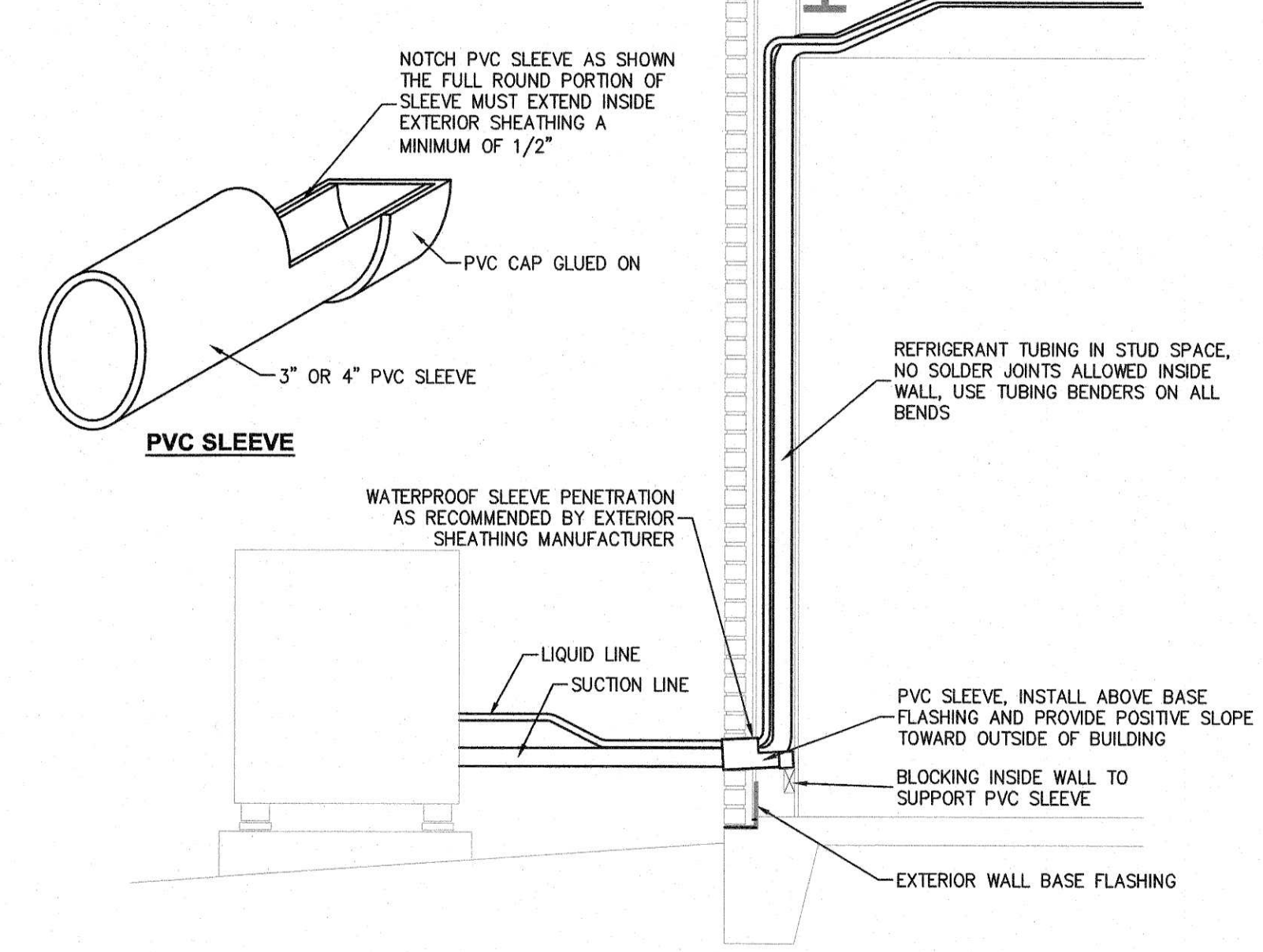
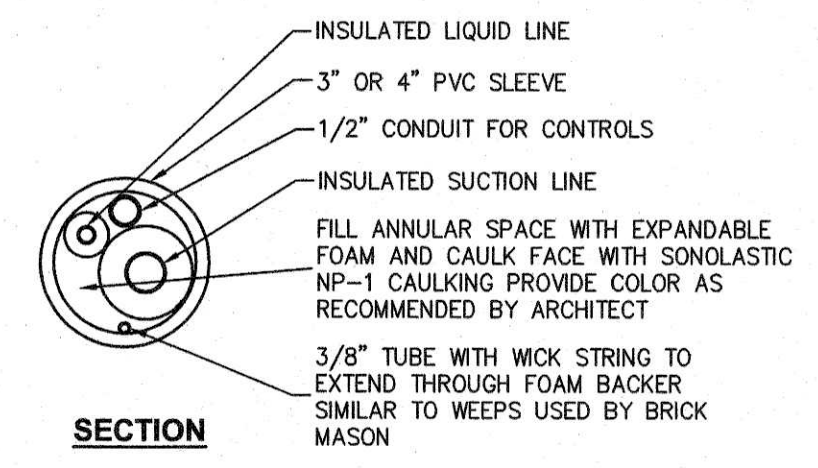
- SPIN-IN**
- CAP OPEN ENDS OF ALL DUCTS (INCLUDING SPIN-INS) AND EQUIPMENT WITH PLASTIC TO PREVENT CONSTRUCTION DEBRIS AND DUST FROM ENTERING OPENINGS DURING CONSTRUCTION.
 - COVER ALL OPEN ENDS OF DUCTWORK WHILE SITTING ON GROUND (NOT INSTALLED). ALL PREFABRICATED DUCTWORK IN SHOP SHALL COME WITH ENDS PREWRAPPED WHEN DELIVERED TO THE SITE.
 - CONTRACTOR SHALL CLEAN ALL DUCTWORK THAT IS NOT PROTECTED PROPERLY DURING CONSTRUCTION.

DIRT BUSTER DETAIL



FLEX. DUCT SUPPORT DETAIL

REFRIGERANT PIPING SUPPORT DETAIL



REFRIGERANT PIPING WALL PENETRATION DETAIL

SPLIT SYSTEM MASTER SCHEDULE

DEER PARK - SOCCER & SOFTBALL

208/1
17026

UNIT TYPE BREAKDOWN

| | |
|--|--|
| C = COOLING WITH ELECTRIC HEAT | 2CM = TWO STAGE COOLING WITH MULTI-SPEED AHU AND ELECTRIC HEAT |
| H = HEAT PUMP WITH ELECTRIC EMERGENCY HEAT | 2C = TWO STAGE COOLING WITH VARIABLE SPEED AHU AND ELECTRIC HEAT |
| GH = COOLING WITH HORIZONTAL SINGLE STAGE GAS HEAT | 2HM = TWO STAGE HEAT PUMP WITH MULTI-SPEED AHU AND ELECTRIC EMERGENCY HEAT |
| GV = COOLING WITH VERTICAL SINGLE STAGE GAS HEAT | 2H = TWO STAGE HEAT PUMP WITH VARIABLE SPEED AHU AND ELECTRIC EMERGENCY HEAT |
| 2CM = TWO STAGE COOLING WITH MULTI-SPEED AHU AND ELECTRIC HEAT | 2GH = TWO STAGE COOLING WITH HORIZONTAL SINGLE STAGE GAS HEAT |
| 2C = TWO STAGE COOLING WITH VARIABLE SPEED AHU AND ELECTRIC HEAT | 2GV = TWO STAGE COOLING WITH VERTICAL SINGLE STAGE GAS HEAT |

STANDARD NOTES:

- SOME UNITS SHOWN ON THE MASTER SCHEDULE(S) MAY NOT BE USED ON THIS JOB.
- ALL EFFICIENCIES LISTED ARE AT ARI CONDITIONS (80/67/95).
- ALL CAPACITIES LISTED ARE TO BE SELECTED AT (80/67/105) AT LISTED AIR FLOW.
- VERIFY AVAILABLE VOLTAGE, PHASE AND CIRCUIT FUSE SIZE(S) WITH ELECTRICAL PLANS AND ELECTRICAL CONTRACTOR PRIOR TO RELEASING EQUIPMENT ORDER. MECHANICAL CONTRACTOR IS TO FILL IN THE "MECH/ELECT COORDINATING SHEET" FOUND IN THE SPECIFICATIONS AND FURNISH ONE COPY TO THE ELECTRICAL CONTRACTOR AND ALSO ATTACH THIS INFORMATION TO THE EQUIPMENT SUBMITTAL PRIOR TO SUBMITTING TO ENGINEER.
- WHEN NEUTRAL OUTSIDE AIR IS SCHEDULED, IT WILL BE PROVIDED FROM A DEDICATED OUTSIDE AIR UNIT TO THE RETURN AIR PLENUM OF THE UNIT OR DIRECTLY TO THE SPACE.
- WHEN RAW OUTSIDE AIR IS SCHEDULED, PROVIDE AN INSULATED FILTER BOX WITH HINGED ACCESS DOOR. ROUTE OUTSIDE AIR DUCT FROM ROOF CAP OR EXTERIOR WALL LOUVER TO RETURN AIR PLENUM. PROVIDE A MANUAL BALANCING DAMPER AND A MOTORIZED DAMPER IN OUTSIDE AIR DUCT. THE FILTER BOX AND DAMPERS MUST BE EASILY ACCESSIBLE FROM THE AIR HANDLER SERVICE AREA. FILTER SIZE TO BE 12X12X2 IN DUCTS WITH UP TO 200 CFM AND 16X20X2 IN DUCTS WITH 200 TO 800 CFM.
- AIR PURIFICATION:** PROVIDE GLOBAL PLASMA SOLUTIONS, BI-POLAR ION GENERATOR MODEL NUMBER - GPS-FC-3-BAS FOR ALL UNITS LISTED IN SCHEDULE BELOW. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS. POWER SUPPLY IS 24 VAC AT 12VA COORDINATE ELECTRICAL REQUIREMENTS WITH UNIT MANUFACTURER PRIOR TO INSTALLING. PROVIDE LARGER UNIT TRANSFORMER IF REQUIRED. CONTACT HTS FOR PRICING. 512-745-0555 OR derrick.vanwest@hts.com

SEE SPECIFICATIONS FOR ALL STANDARD ACCESSORIES, FEATURES AND CONTROLS REQUIRED.

ACCESSORIES AND NOTES: (ONLY ACCESSORIES NOTED IN THE SCHEDULE BELOW ARE TO BE PROVIDED)

- DUCT SMOKE DETECTOR IN SUPPLY AND / OR RETURN AIR DUCT AS REQUIRED BY AUTHORITY HAVING JURISDICTION, PROVIDED AND WIRED BY FIRE ALARM CONTRACTOR AND INSTALLED BY MECHANICAL CONTRACTOR. FIRE ALARM CONTRACTOR SHALL PROVIDE A SHUT DOWN RELAY AND MAKE CONNECTIONS FROM DETECTOR TO RELAY. CONTROLS CONTRACTOR SHALL PROVIDE WIRE AND CONNECTIONS FROM CONTROL RELAY TO AIR HANDLING UNIT. IF A FIRE ALARM SYSTEM IS NOT PROVIDED, THE MECHANICAL CONTRACTOR IS TO PROVIDE AND INSTALL DUCT DETECTOR, SHUT DOWN RELAY, REMOTE TEST SWITCH AND AUDIBLE/VISUAL INDICATOR.
- PROVIDE HIGH EFFICIENCY / CAPACITY (MERV 8) 5" THICK PLEATED FILTER AND CASING EQUAL TO LENNOX BMAC.
- PROVIDE CONDENSATE PUMP.
- PROVIDE CO2 SENSOR MOUNTED 18" FROM UNIT THERMOSTAT/SENSOR TO MONITOR SPACE CONDITIONS. OUTSIDE AIR DAMPER IS TO CLOSE WHEN UNIT IS OFF AND OPEN TO MAXIMUM O/A POSITION (100% OF RAW O/A CFM SCHEDULED) ANY TIME SPACE IS OCCUPIED AND CO2 LEVEL IS ABOVE 800 PPM.
- PROVIDE LOW AMBIENT CONTROL DOWN TO 0 DEGREES BY A VARIABLE SPEED CONDENSER FAN OPERATION (PROVIDE BALL BEARING CONDENSER MOTOR)
- PROVIDE UNIT WITH THERMOSTAT HAVING TWO REMOTE SENSORS EACH HAVING 50% AUTHORITY EACH.

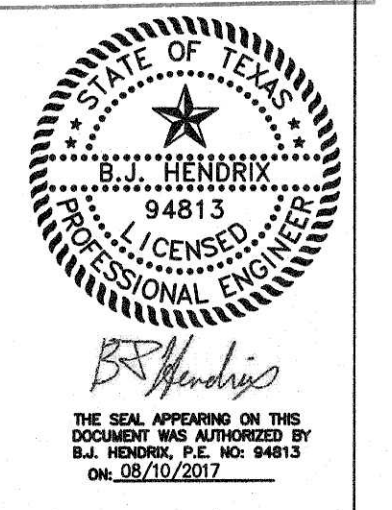
2 STAGE HEAT PUMP SPLIT SYSTEM WITH VARIABLE SPEED BLOWER

| INDOOR / OUTDOOR | | 2H2 | 2H3 | 2H4 | 2H5 |
|------------------------------|-------|--------------|----------------|--------------|--------------|
| CFM | | 750 | 1150 | 1550 | 1800 |
| MINIMUM NET SENSIBLE MBH | | 17465 | 30415 | 37595 | 45510 |
| MINIMUM NET TOTAL MBH | | 23800 | 38500 | 49080 | 61500 |
| SEER | | 15.7 | 16 | 16 | 16.5 |
| SEER | | 12.2 | 12.5 | 12.5 | 12.5 |
| INDOOR UNIT VOLTAGE / PHASE | | 208/1 | 208/1 | 208/1 | 208/1 |
| HEAT KW AT RATED VOLTAGE | | 6 | 8.4 | 11.3 | 15.0 |
| OUTDOOR UNIT VOLTAGE / PHASE | | 208/1 | 208/1 | 208/1 | 208/1 |
| INDOOR UNIT | (AHU) | CBX40LHV-024 | CBX40LHV-036 | CBX40LHV-048 | CBX40LHV-060 |
| ELECTRIC HEATER | | ECB40-8CB P | ECB40-12.5CB P | ECB40-15CB P | ECB40-20CB P |
| OUTDOOR UNIT | (HP) | XP16-024-230 | XP16-036-230 | XP16-048-230 | XP16-060-230 |
| INDOOR UNIT | (AHU) | 0 | 0 | 0 | 0 |
| ELECTRIC HEATER | | 0 | 0 | 0 | 0 |
| OUTDOOR UNIT | (HP) | 0 | 0 | 0 | 0 |
| INDOOR UNIT | (AHU) | 0 | 0 | 0 | 0 |
| ELECTRIC HEATER | | 0 | 0 | 0 | 0 |
| OUTDOOR UNIT | (HP) | 0 | 0 | 0 | 0 |
| INDOOR UNIT WEIGHT | | 165 | 172 | 216 | 216 |
| OUTDOOR UNIT WEIGHT | | 222 | 273 | 294 | 353 |

2 STAGE HEAT PUMP SPLIT SYSTEM WITH MULTISPEED BLOWER

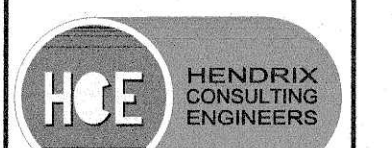
| UNIT MARK | UNIT TYPE | O/A CFM | | ACCESSORIES AND NOTES | UNIT MARK | UNIT TYPE | O/A CFM | | ACCESSORIES AND NOTES |
|-----------|-----------|---------|---------|-----------------------|-----------|-----------|---------|---------|-----------------------|
| | | RAW | NEUTRAL | | | | RAW | NEUTRAL | |
| AHJHP-1 | 2H4 | 300 | | 4 | | | | | |
| AHJHP-2 | 2H3 | 120 | | 4 | | | | | |

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT



PER THE LATEST VERSION OF ASHRAE, ANY MECHANICAL COOLING UNIT WITH AN EFFICIENCY EXCEEDING THE STANDARD MINIMUM REQUIREMENT BY 17% OR MORE IS EXEMPT FROM THE ECONOMIZER REQUIREMENT.

REFERENCE GENERAL NOTES ON SHEETS M1.1, P1.1 AND E1.1 FOR ADDITIONAL INFORMATION



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 HCE job no.: 17-026



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CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1
 EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
 BID - 8/10/2017
 REVISIONS
 CITY OF DEER PARK
 Date Received
 AUG 11 2017
 ENGINEERING DEPARTMENT

PROJECT NUMBER
 16123-00
 DATE ISSUED
 8/10/2017
 SHEET TITLE
 DETAILS - MECHANICAL
 SHEET NUMBER

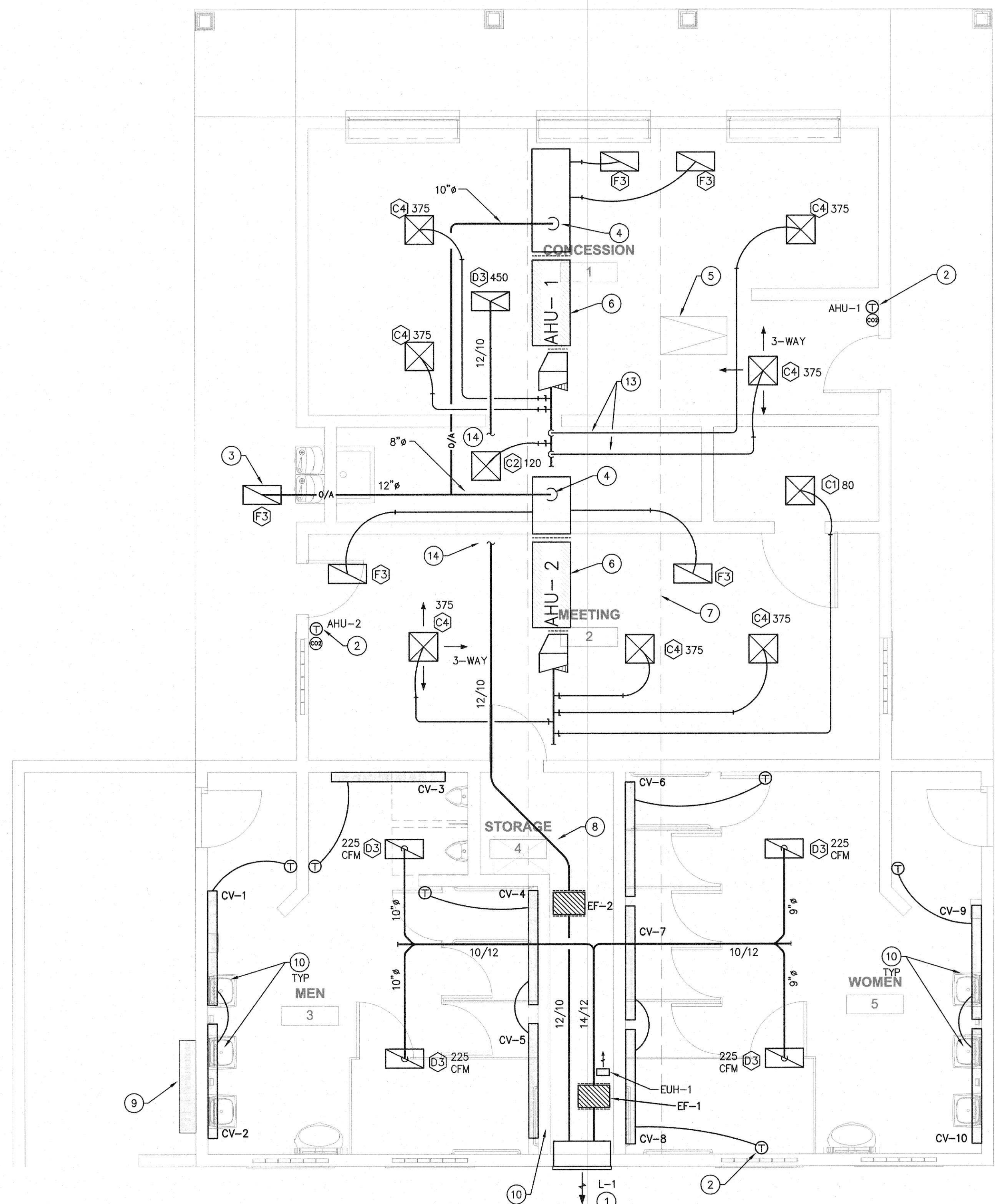
M-1.3

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KEYED NOTES

THESE NOTES APPLY TO THIS SHEET ONLY

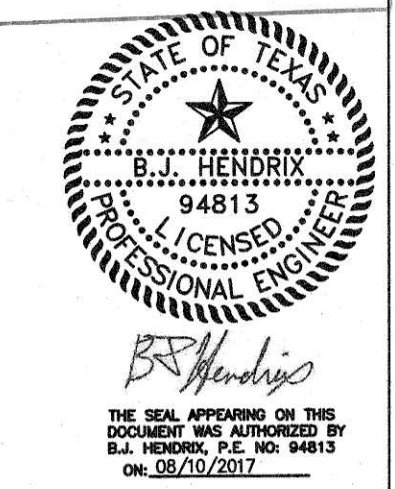
- 1 EXHAUST AIR LOUVER. REFERENCE ARCHITECTURAL FOR EXACT LOCATION. PROVIDE 24" DEEP EXTERNALLY WRAPPED SHEET METAL PLENUM FULL SIZE OF LOUVER ON BACK OF LOUVER. BOTTOM OF PLENUM TO BE WELDED WATERTIGHT AND SLOPED TO DRAIN TOWARDS EXTERIOR.
- 2 PROVIDE THERMOSTAT WITH INSULATED BACKING.
- 3 OUTSIDE SIDE AIR INTAKE FILTER GRILLE IN SOFFIT.
- 4 OUTSIDE AIR TO CONNECT TO RETURN AIR PLENUM. PROVIDE MOTORIZED DAMPER TO OPEN ONLY WHEN ASSOCIATED COMPRESSOR IS OPERATING AND CO2 LEVEL IS ABOVE 1100 PPM. PROVIDE MANUAL DAMPER FOR BALANCING. DAMPERS TO BE IN ACCESSIBLE LOCATION.
- 5 MECHANICAL PLATFORM ACCESS LADDER. COORDINATE WITH ARCHITECT.
- 6 AIR HANDLING UNIT ON MECHANICAL PLATFORM. ROUTE CONDENSATE TO SERVICE SINK IN PLUMBING CHASE.
- 7 LINE OF MECHANICAL PLATFORM ABOVE CEILING. COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER.
- 8 SERVICE SINK LOCATION FOR CONDENSATE DISPOSAL. COORDINATE WITH PLUMBING CONTRACTOR.
- 9 LOCATION FOR ELECTRICAL SERVICE DISCONNECT.
- 10 EF-1 AND LOUVER ABOVE PLATFORM.
- 11 COVE HEATERS TO BE INSTALLED JUST BELOW CEILING PER MANUFACTURER'S INSTRUCTIONS. SET AT 40 DEGREES FAHRENHEIT FOR FREEZE PROTECTION. LIGHTS TO BE MOUNTED BELOW.
- 12 EUH-1 IN CHASE FOR FREEZE PROTECTION. SET AT 40 DEGREES FAHRENHEIT.
- 13 RUN DUCT HIGH OVER MEZZANINE FOR MAINTENANCE ACCESS.
- 14 CONTINUATION OF NEW KITCHEN EXHAUST DUCT.



01 FLOOR PLAN - MECHANICAL
SCALE: 1/4" = 1'-0"

INTERLOCK AHU-1/ HP-1 WITH SENSOR FOR OVERHEAD ROLL-UP WINDOWS IN CONCESSION STAND SUCH THAT WHEN OVERHEAD ROLL-UP WINDOWS ARE OPENED, AHU-1/HP-1 POWERS OFF.

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT
 AUG 14 2017
 DATE
 CITY OF DEER PARK



REFERENCE GENERAL NOTES ON SHEETS M1.1, P1.1 AND E1.1 FOR ADDITIONAL INFORMATION



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HCE job no.: 17-026

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EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

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PROJECT NUMBER
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SHEET TITLE
FLOOR PLAN - MECHANICAL
SHEET NUMBER

M-2.1

PIPE SIZING REQUIREMENTS

- 1. ALL FLOOR DRAINS AND FLOOR SINKS MUST HAVE TRAP PRIMERS. PROVIDE INVERTED TEE CONNECTION FROM SINK TAILPIECE OR FLUSH VALVE TYPE TRAP PRIMER CONNECTION TO ALL FLOOR DRAINS, FLOOR SINKS AND HUB DRAINS. AS LAST RESORT PROVIDE MECHANICAL TYPE TRAP PRIMER (PPP INC. "OREGON #1" TYPE). CONNECT TO NEAREST WATER SERVING THAT AREA PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. IN JURISDICTIONS WHERE PRESSURE ACTIVATED MECHANICAL PRIMERS ARE NOT ALLOWED, USE ELECTRONIC TRAP PRIMERS. COORDINATE POWER REQUIREMENTS WITH ELECTRICAL CONTRACTOR. PROSET "TRAP GUARD" DEVICE MAY BE USED IN LIEU OF TRAP PRIMERS WHEN ALLOWED BY LOCAL CODE AUTHORITY HAVING JURISDICTION. BEFORE USING PROSET "TRAP GUARD" CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM LOCAL CODE AUTHORITY HAVING JURISDICTION AND PROVIDE COPIES TO ARCHITECT AND ENGINEER.

FIXTURE CONNECTION SCHEDULE

Table with columns: MARK, CW, HW, TW, WASTE, DRAIN FIXTURE UNITS, VENT. Rows include WATER CLOSET (FLUSH VALVE), WATER CLOSET (TANK TYPE), URINAL, LAVATORY, SINK, SERVICE SINK, WASH FOUNTAIN, EWC, WASHING MACHINE, HOSE BIBB, SHOWER, FLOOR DRAIN.

* HOT (TEMPERED) AND COLD WATER REQUIRED UNLESS NOTED OTHERWISE ON PLUMBING FIXTURE SCHEDULE. PROVIDE TEMPERATURE MIXING VALVE (ASSE 1070) AT THE FIXTURE.
** IF HORIZONTAL VENT LENGTH EXCEEDS 20 FEET, INCREASE VENT SIZE TO TWO INCHES.
*** COMMERCIAL KITCHEN SINKS GET HOT WATER, REMAINDER TO BE PROVIDED WITH TEMPERATURE MIXING VALVE (ASSE 1070) AT THE FIXTURE.
**** SHOWER VALVES TO BE BALANCED-PRESSURE, THERMOSTATIC OR COMBINATION BALANCED-PRESSURE/THERMOSTATIC CONFORMING TO ASSE 1016.

PLUMBING LEGEND

Table with columns: SYMBOL, ABB., DESCRIPTION. Lists plumbing symbols for CW, HW, HD, CO, etc.

M/P ABBREVIATION SCHEDULE

Table with columns: M/P, ABBREVIATION, DESCRIPTION. Lists abbreviations for AD, AW, AR, etc.

GENERAL NOTES

- A. THE CONTRACTOR IS TO VISIT THE SITE PRIOR TO BID TO FAMILIARIZE HIMSELF WITH ALL CONDITIONS AS THEY EXIST. SUBMISSION OF BID INDICATES THE CONTRACTOR'S UNDERSTANDING OF EXISTING CONDITIONS AND HIS WILLINGNESS TO WORK WITH THESE CONDITIONS. NO ADDITIONAL TIME OR MONEY WILL BE ALLOTTED DUE TO LACK OF COORDINATION WITH EXISTING CONDITIONS OR OTHER TRADES.

PLUMBING FIXTURE SCHEDULE

NOTES:

- 1. REFERENCE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
2. ALL WALL HUNG FIXTURES TO BE INSTALLED WITH WALL CARRIERS, VERIFY CONFIGURATION TYPE.
3. PROVIDE VANDAL RESISTANT SCREWS AT ALL FIXTURES.
4. INSTALL STAINLESS STEEL CAPS AT ALL UNUSED LAVATORY FAUCET HOLES.

WCW

WATER CLOSET: ACORN MODEL #1680-W-1-HET-FVBO-FT-MT-SW, WALL/CHASE MOUNTED, SEAMLESS WELDED 14 GAUGE TYPE 304 STAINLESS STEEL, CONCEALED SUPPLY, ELONGATED BOWL, INTEGRAL SEAT, FLOOD-TROL (MANUAL RESET) METAL TEMPLATE AND WALL SLEEVE.

WCWH

WATER CLOSET (ADA): ACORN MODEL #1680-W-1-HET-FVBO-ADA-FT-MT-SW, WALL/CHASE MOUNTED, SEAMLESS WELDED 14 GAUGE TYPE 304 STAINLESS STEEL, CONCEALED SUPPLY, ELONGATED BOWL, INTEGRAL SEAT, FLOOD-TROL (MANUAL RESET) METAL TEMPLATE AND WALL SLEEVE.

UR

URINAL: ACORN MODEL #1709-W-1-5-FYBO-MT-SW, WALL MOUNTED, SEAMLESS WELDED HEAVY GAUGE STAINLESS STEEL, CONCEALED SUPPLY, CONCEALED FLUSH VALVE: SLOAN ROYAL 9613-0.5, 0.5 GALLON MANUAL PUSH BUTTON FLUSH WITH CHROME PLATED WALL COVER, METAL TEMPLATE AND WALL SLEEVE.

URH

URINAL (ADA): ACORN MODEL #1709-W-1-5-FYBO-MT-SW, WALL MOUNTED, SEAMLESS WELDED HEAVY GAUGE STAINLESS STEEL, CONCEALED SUPPLY, CONCEALED FLUSH VALVE: SLOAN ROYAL 9613-0.5, 0.5 GALLON MANUAL PUSH BUTTON FLUSH WITH CHROME PLATED WALL COVER, METAL TEMPLATE AND WALL SLEEVE.

LH

LAVATORY (ADA): ACORN MODEL #1652LR-DMS-PPZ1-MT-SW-ST70, WALL/CHASE MOUNTED, SEAMLESS WELDED HEAVY GAUGE STAINLESS STEEL, TOUCH TIME SINGLE TEMPERATURE ELECTRONIC METERING VALVE, DECK MOUNTED SPOUT AND ASSE 1070 THERMOSTATIC MIXING VALVE, METAL TEMPLATE AND WALL SLEEVE.

KS3

3 COMPARTMENT SINK: ELKAY #WNSF8360LR4, 14 GAUGE STAINLESS STEEL, 1/4" RADIUS COVERED CORNER CONSTRUCTION, 24" x 20" x 14" DEEP BOWLS, 8" HIGH FULL LENGTH SLOPED BACKSPLASH, DRAINBOARDS LEFT AND RIGHT, STAINLESS STEEL TUBULAR LEGS WITH ADJUSTABLE BULLET FEET. FAUCETS: TWO (2) ELKAY #LK945A12T4T, 4" WRIST BLADE HANDLES.

HS

KITCHEN HAND SINK (ADA): ELKAY #ELVW02219, 304 STAINLESS STEEL, NSF, COMPLETE WITH WALL HANGER, INTEGRAL STAINLESS STEEL SUPPORT BRACKETS, INTEGRAL OVERFLOW, PROVIDE WITH LK412 GOOSENECK FAUCET WITH 4" WRISTBLADE HANDLES AND LK723 THERMOSTATIC MIXING VALVE (ASSE 1070).

DFBF

DRINKING FOUNTAIN (ADA): "MOST DEPENDABLE FOUNTAINS, INC" WALL MOUNT MODEL 10485WSS, DUAL LEVEL, RECESSED NOZZLE BOTTLE FILLER SPOUT, STAINLESS STEEL, STAINLESS STEEL COVER PLATE OVER WALL CARRIER PLATE, CANE APRON, VANDAL RESISTANT BUBBLER AND OPTIONAL CUT-OFF VALVE AND LOW POINT DRAIN. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.

SS

SERVICE SINK: FIAT #MSB-2424, ONE-PIECE MOLDED STONE WITH #832-AA HOSE AND HOSE BRACKET #E-77-AA VINYL BUMPER GUARD, MSG-2424 STAINLESS STEEL WALL GUARD AND #830-AA FAUCET.

WH

WATER HEATER: A.O.SMITH MODEL DEN-52, 50 GALLON STORAGE, 6KW-208V-3PH NON-SIMULTANEOUS ELEMENTS, 31 GPH RECOVERY AT 80 DEGREES RISE.

HB2

HOSE BIBB: WOODFORD MODEL 26, TEE KEY OPERATOR, ASSE 1052 OR 1101 BACKFLOW PREVENTER, CLOSE COUPLED, NO SPRAYBACK, PROVIDE SHUT-OFF VALVE INSIDE BUILDING IN ACCESSIBLE LOCATION. SLOPE LINE FROM SHUT-OFF VALVE TO WALL HYDRANT TO ALLOW DRAINING OF LINE FOR FREEZE PROTECTION.

FD

FLOOR DRAIN: C.I. BODY, FLASHING COLLAR, WEEPHOLES, ADJUSTABLE STAINLESS STEEL OR NICKEL BRONZE RECTANGULAR TOP (4" x 12"). MIFAB F1100C-RS-3 SERIES.

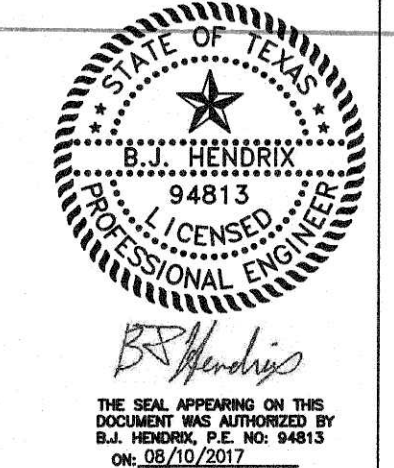
FD7

FLOOR DRAIN (KITCHEN): C.I. BODY, FLASHING COLLAR, WEEPHOLES, SECURED AND ADJUSTABLE STAINLESS STEEL OR NICKEL BRONZE SQUARE TOP (6" x 6") MINIMUM WITH COPPER SEDIMENT BASKET. TOP SIZE TO MATCH TILE SIZE AS CLOSE AS POSSIBLE, VERIFY TOP SIZE. MIFAB F1100 CS-3-5 SERIES.

FS

FLOOR SINK: 6" DEEP WITH ACID-RESISTING PORCELAIN ENAMEL INTERIOR, ALUMINUM INTERNAL DOME STRAINER, and STAINLESS STEEL GRATE (1/2 GRATE TYPE). MIFAB FS1720-3 SERIES.

APPROVED
APPROVED AS NOTED
DISAPPROVED
REVISE & RESUBMIT
AUG 14 2017
CITY OF DEER PARK DATE



REFERENCE GENERAL NOTES ON SHEETS M1.1, P1.1 AND E1.1 FOR ADDITIONAL INFORMATION



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HCE job no.: 17-026

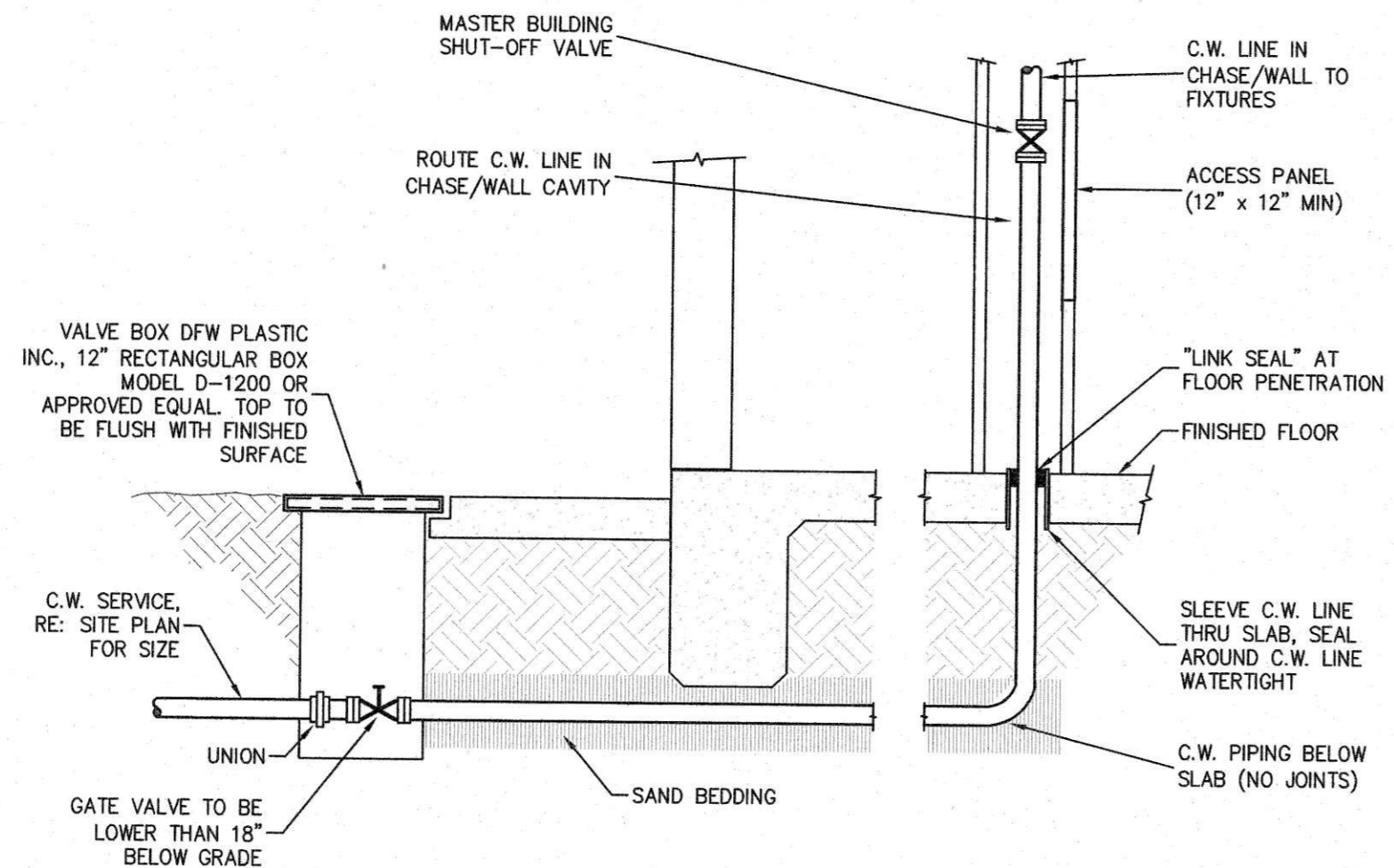


CONCESSION / RESTROOM BUILDING
SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

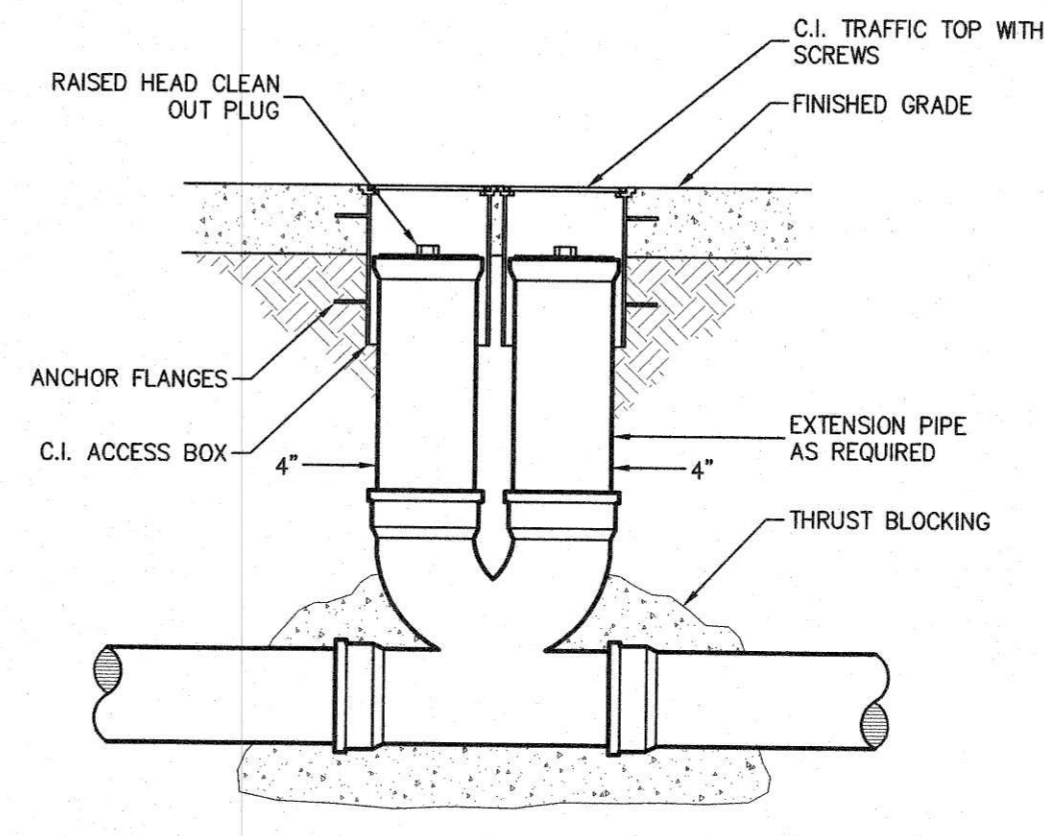
PROJECT PHASE
BID - 8/10/2017
REVISIONS
CITY OF DEER PARK
Date Received
AUG 11 2017

ENGINEERING DEPARTMENT
PROJECT NUMBER
16123-00
DATE ISSUED
8/10/2017
SHEET TITLE
SCHEDULES, NOTES, AND LEGENDS - PLUMBING
SHEET NUMBER
P-1.1

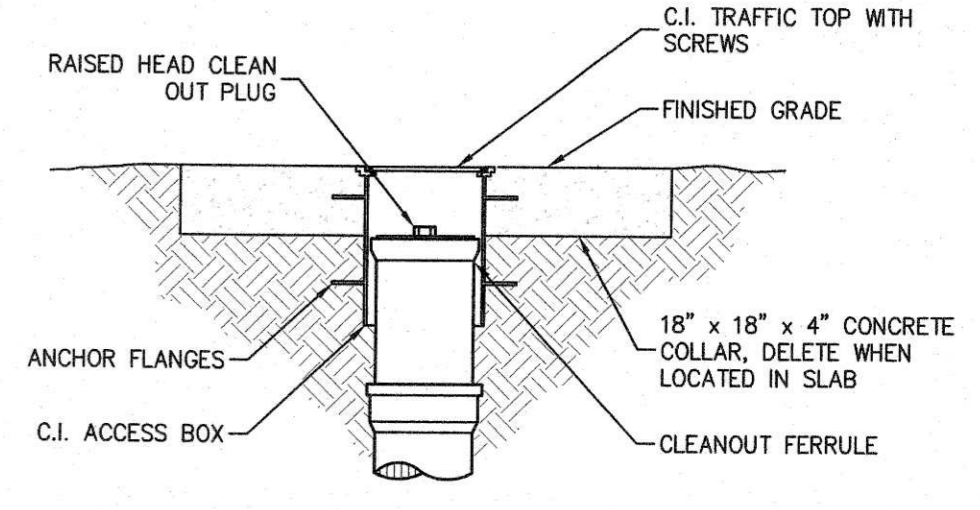
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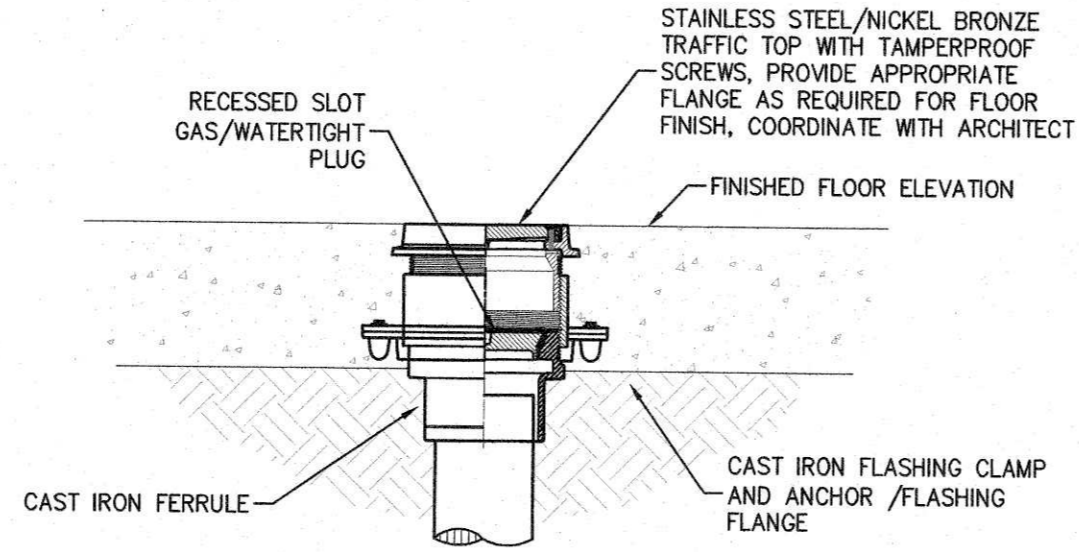
C.W. BUILDING ENTRY DETAIL
NO SCALE PDE52B



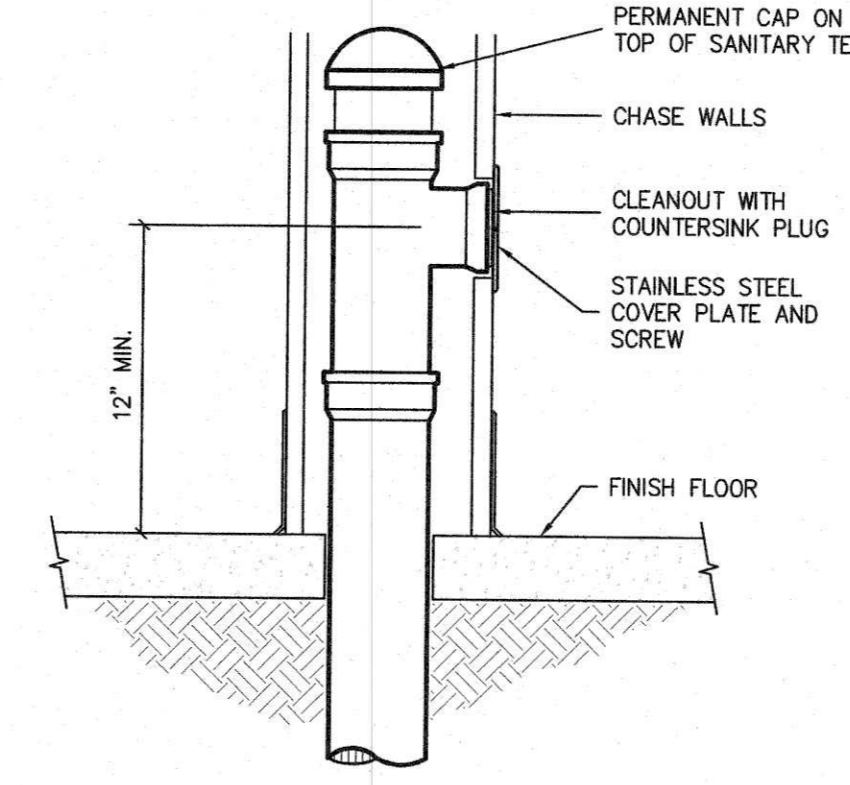
DOUBLE CLEANOUT DETAIL
NO SCALE PDE43



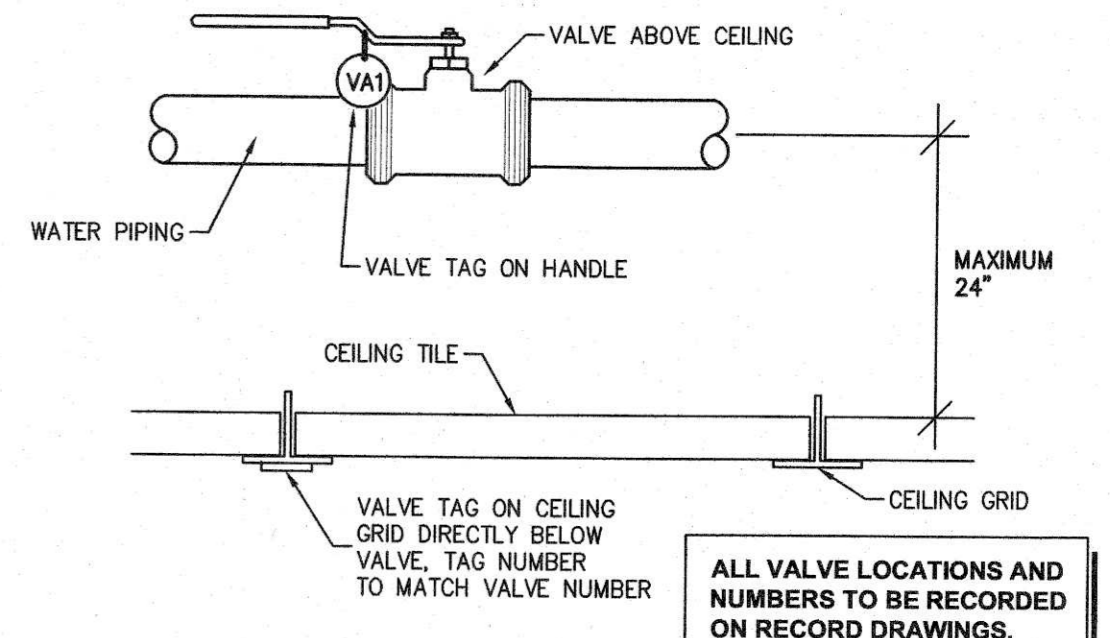
EXTERIOR CLEANOUT
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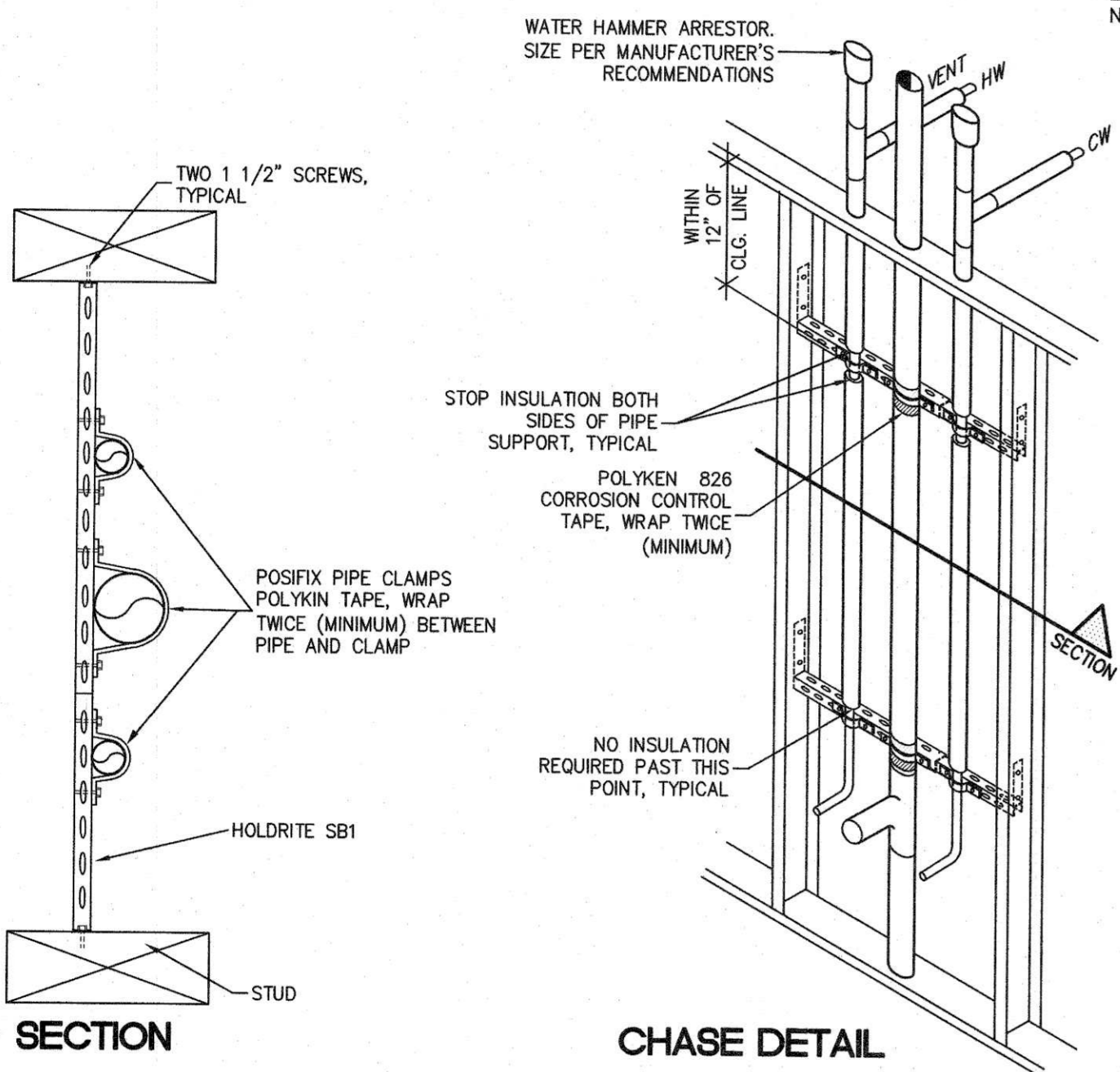
INTERIOR FLOOR CLEANOUT
NO SCALE PDE55



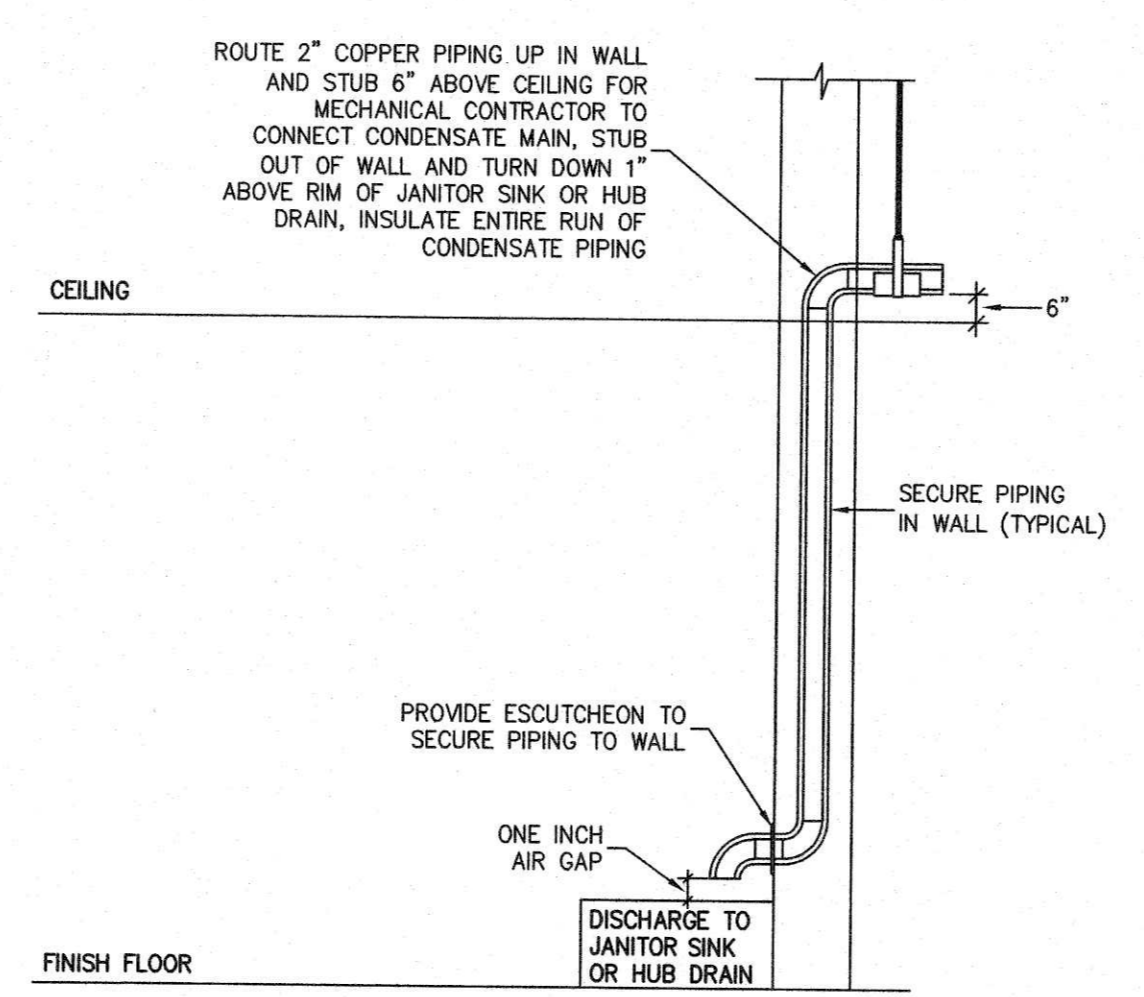
WALL CLEANOUT
NO SCALE PDE89



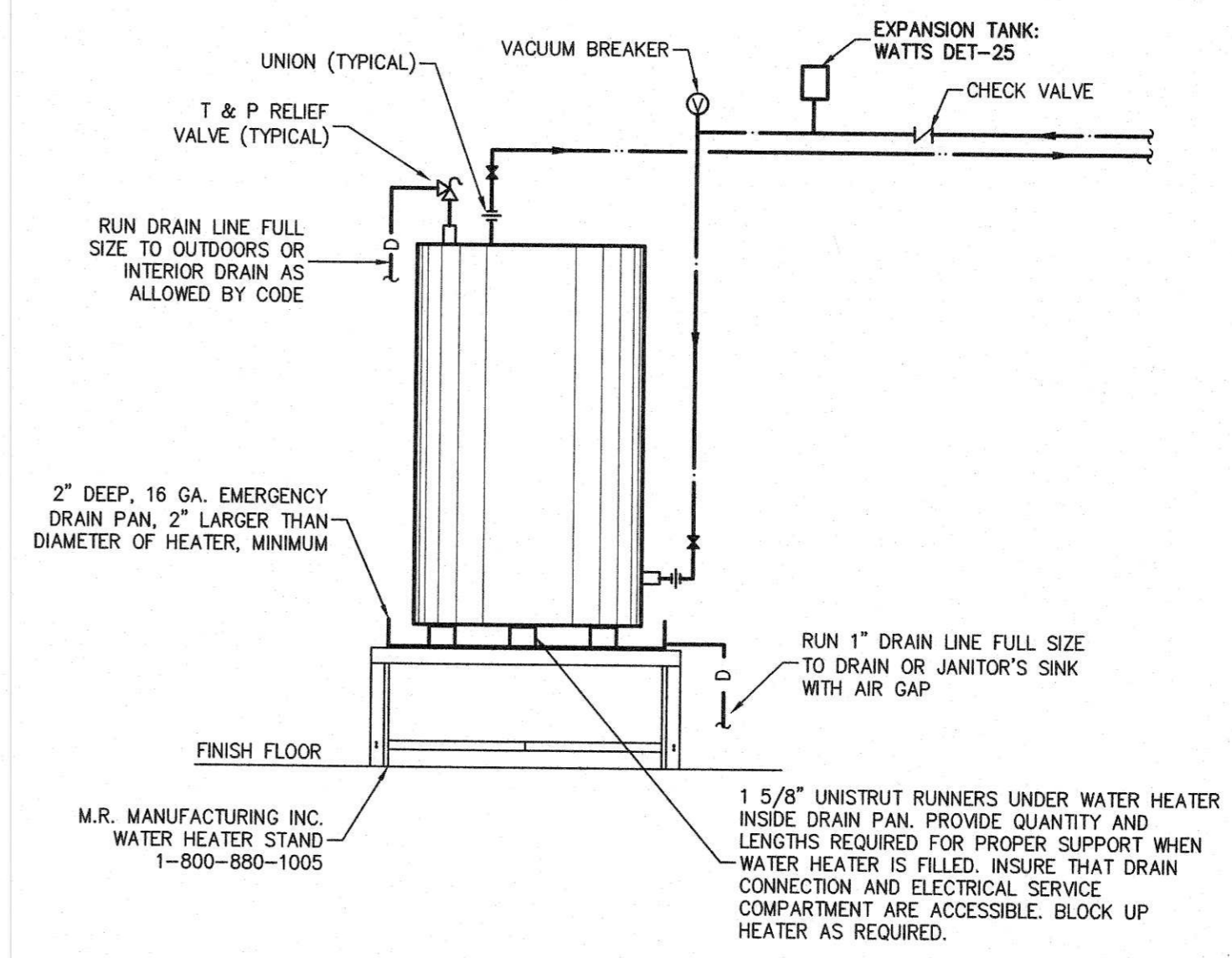
TYPICAL VALVE IDENTIFICATION DETAIL
SCALE: NO SCALE PDE27



TYP. PLUMBING CHASE SUPPORT DETAIL
NO SCALE PDE30



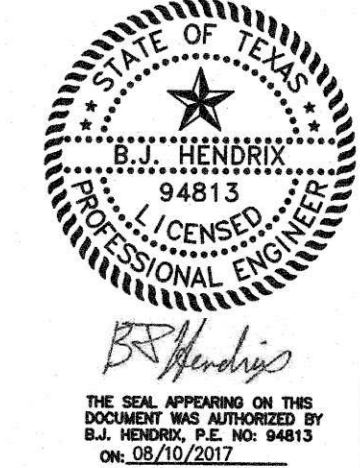
TYPICAL CONDENSATE STUB DETAIL
SCALE: NONE PDE37



WATER HEATER DETAIL
NO SCALE PDE72

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
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[Signature] AUG 14 2017
CITY OF DEER PARK DATE



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HCE job no.: 17-026

CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
BID - 8/10/2017

REVISIONS
CITY OF DEER PARK
Date Received
AUG 11 2017
ENGINEERING DEPARTMENT

PROJECT NUMBER
16123-00
DATE ISSUED
8/10/2017
SHEET TITLE
DETAILS - PLUMBING
SHEET NUMBER

P-1.2

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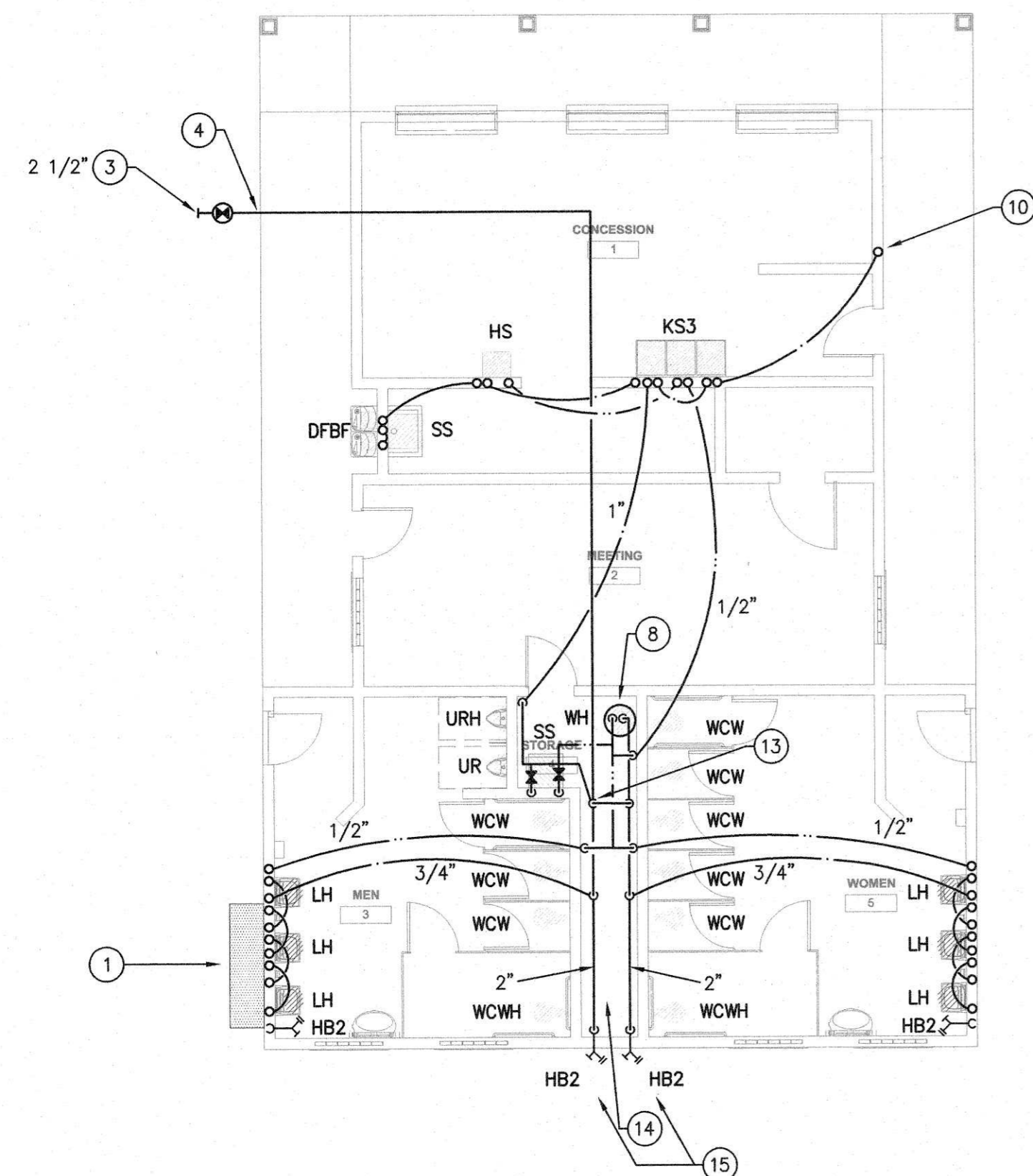
KEYED NOTES

THESE NOTES APPLY TO THIS SHEET ONLY

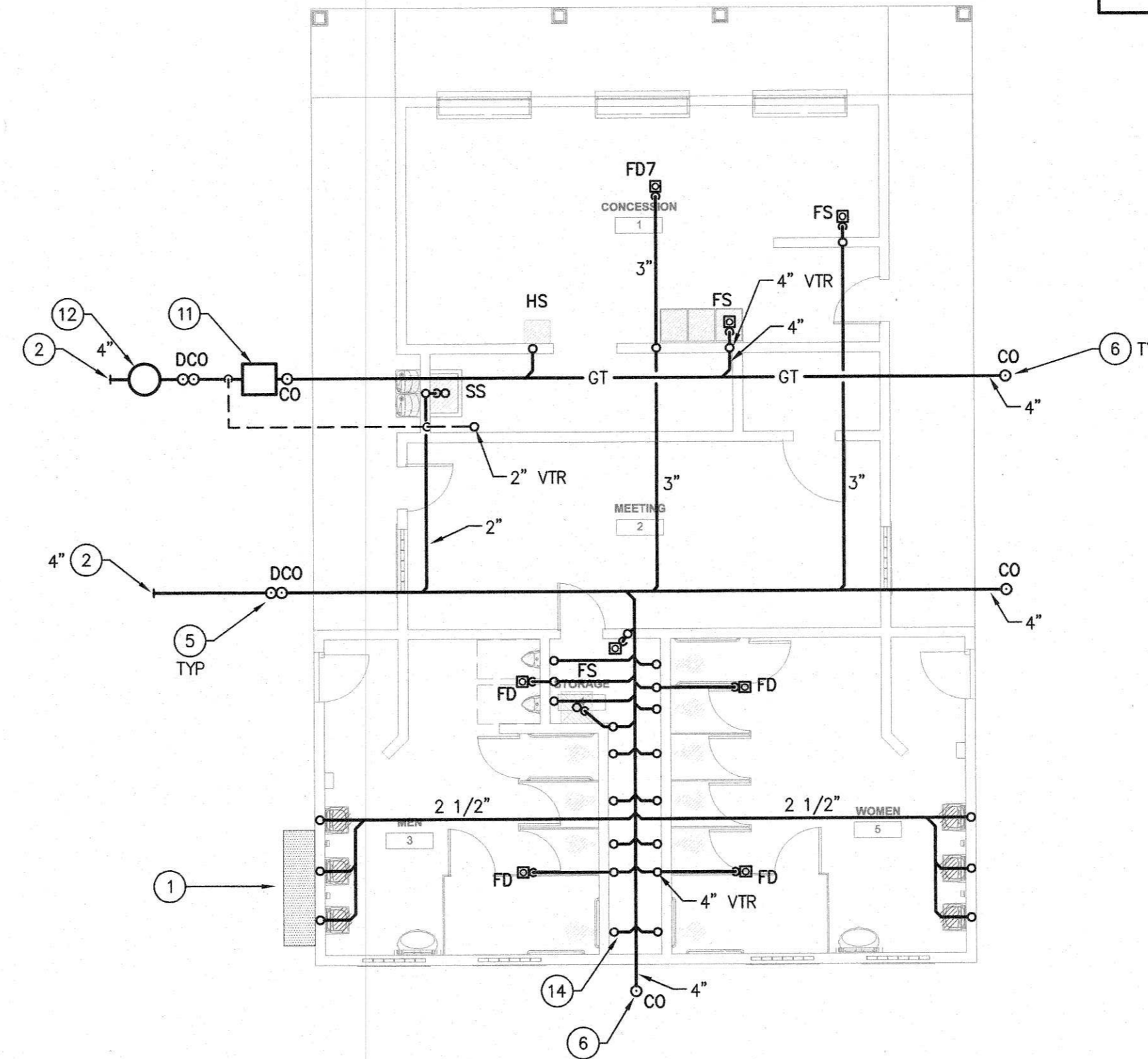
- 1 DO NOT ROUTE ANY PIPING ABOVE THIS AREA.
- 2 CONNECT TO WASTEWATER (WW) STUB PROVIDED BY CIVIL. FIELD VERIFY EXACT LOCATION AND INVERT. PROVIDE ADAPTER AS REQUIRED TO MAKE SIZE AND/OR MATERIAL TRANSITION.
- 3 CONNECT TO COLD WATER (CW) STUB PROVIDED BY CIVIL. FIELD VERIFY EXACT LOCATION. PROVIDE ADAPTER AS REQUIRED TO MAKE SIZE AND/OR MATERIAL TRANSITION. COORDINATE LOCATION OF SHUT OFF WITH CONDENSING UNITS.
- 4 RE: CW BUILDING ENTRY DETAIL ON PLUMBING DETAIL SHEET(S).
- 5 RE: DOUBLE CLEANOUT DETAIL ON PLUMBING DETAIL SHEET(S).
- 6 RE: EXTERIOR CLEANOUT DETAIL ON PLUMBING DETAIL SHEET(S).
- 7 RE: INTERIOR CLEANOUT DETAIL ON PLUMBING DETAIL SHEET(S).
- 8 RE: WATER HEATER DETAIL ON PLUMBING DETAIL SHEET(S) FOR WATER HEATER AND HOT WATER RECIRCULATION PUMP PIPING.
- 9 RE: TYPICAL CONDENSATE STUB DETAIL ON PLUMBING DETAIL SHEET(S).
- 10 CW IN-LINE RPZ BACKFLOW PREVENTOR ON WALL IN ACCESSIBLE LOCATION. COORDINATE EXACT LOCATION WITH ARCHITECT AND EQUIPMENT. ROUTE RELIEF FROM RPZ TO FLOOR SINK FOR ICEMAKER.
- 11 GREASE INTERCEPTOR EQUAL TO PARK MODEL MGT-35-PDI, 35 GPM, 70 LB GREASE CAPACITY. PROVIDE STEEL EXTENSIONS AS REQUIRED.
- 12 SAMPLE WELL EQUAL TO PARK MODEL SWB-184.
- 13 PROVIDE BUILDING SHUT OFF VALVE AND DOUBLE CHECK BACKFLOW PREVENTER IN RISER.
- 14 ROUTE ALL WW VENTS, AND WATER LINES TIGHT TO CHASE WALLS TO MAINTAIN MAXIMUM ACCESS SPACE DOWN CENTER OF CHASE. ROUTE 2" DOMESTIC WATER MAINS DOWN EACH SIDE OF CHASE TO SERVE FIXTURES. SLOPE MAINS TO DRAIN TO EXTERIOR HOSE BIBBS AT END OF CHASE. REFERENCE FIXTURE CONNECTION SCHEDULE.
- 15 SLOPE WATER LINE TO HOSE BIB FOR DRAIN DOWN.

PEX-A WATER PIPING MAY BE USED IF ACCEPTABLE TO OWNER.

ALL WATER LINES UNDERGROUND EXCEPT IN CHASE FOR FREEZE PROTECTION.



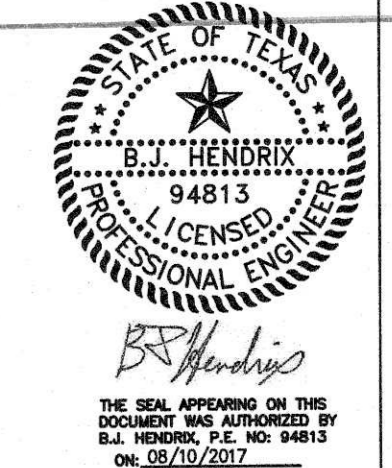
02 FLOOR PLAN - PLUMBING - SUPPLY
SCALE: 1/8" = 1'-0"



01 FLOOR PLAN - PLUMBING - WASTE
SCALE: 1/8" = 1'-0"

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT

[Signature]
CITY OF DEER PARK
AUG 14 2017
DATE



REFERENCE GENERAL NOTES ON SHEETS M1.1, P1.1 AND E1.1 FOR ADDITIONAL INFORMATION



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HCE job no.: 17-026

CONCESSION / RESTROOM BUILDING

SOCCER FIELD DEVELOPMENT PHASE I
EAST BLVD AND EAST 13TH ST., CITY OF DEER PARK, TEXAS

PROJECT PHASE
BID - 8/10/2017

REVISIONS
CITY OF DEER PARK
Date Received
AUG 11 2017

ENGINEERING DEPARTMENT

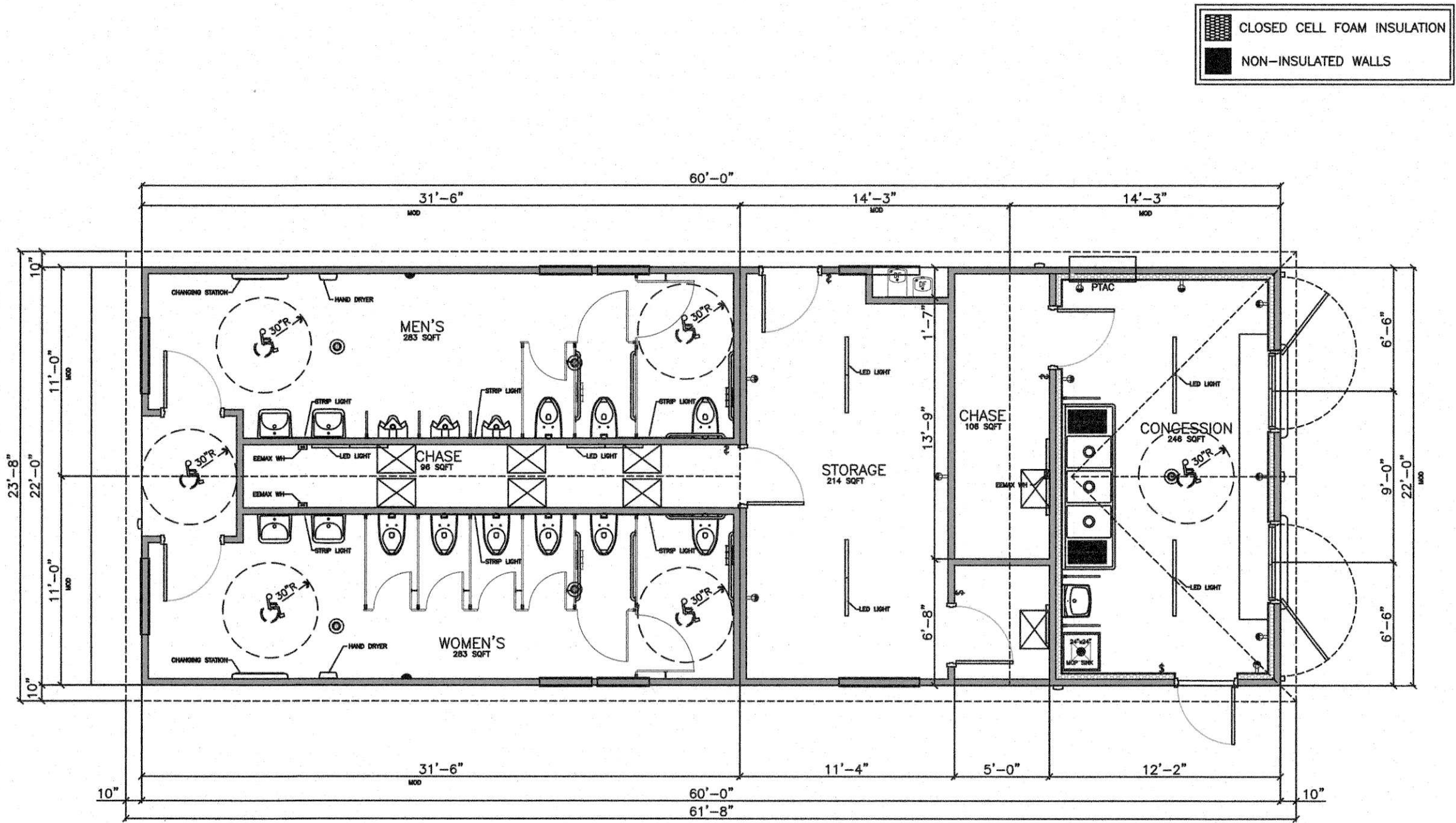
PROJECT NUMBER
16123-00

DATE ISSUED
8/10/2017

SHEET TITLE
FLOOR PLAN - PLUMBING

SHEET NUMBER
P-2.1

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FLOOR PLAN 1320 SQFT

DESIGN DATA PLATE TO BE OF PLAQUE GRADE METAL PAINTED BLACK. CRITERIA TO BE ENGRAVED TO METAL TO BE SCREWED TO WALL AT HINGE SIDE OF CHASE DOOR AT 60" AFF.

RFL Restroom Facilities Limited
1700 CIRCLE
HOUSTON, TEXAS 77058
713.225.1444

RFL MODEL # BB34STON2
PROJECT: DEER PARK SOCCER

DRAWN BY: MS
DATE: 07/20/17
REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:
REVISION:

SHEET DESCRIPTION:
FLOOR PLAN

SHEET
A1

GENERAL CONTRACTOR'S SCOPE OF WORK
TURNKEY INSTALLATION OF RESTROOM BUILDING WITH ATTACHED SLAB

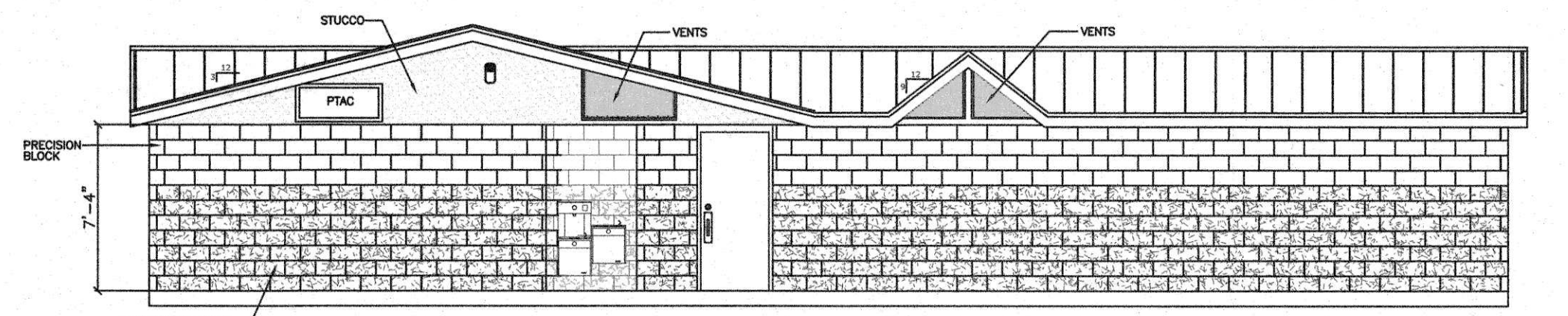
- SURVEY STAKES:**
Provide ten foot offset stakes and locate front corners of building, existing utilities, and inverts within the area of construction. Locate and mark final slab elevation.
- SUBGRADE PAD:**
Preparing the site is fairly simple. Detailed instructions to prepare the building site are as follows:
 - Excavate down ten inches below the finish floor elevation (the slab is eight inches thick on top of a two inch sand bed).
 - If soils are poor, it may be necessary to import six inches of Class II base rock, and pour for a footing and/or piers. (This is not necessary if native soils will compact)
 - Compact to 95%, or to local code requirement.
 - Compact one foot over in all directions (over build).
 - Supply approximately five cubic yards of clean sand, on side of site, for fine grading.
 - Excavate and backfill trenches up to and within building pad for RFL supplied underground utility service kits.
 - Provide water and inspection for RFL supplied underground sewer kit.
 - Depending on weather, all irrigation should be turned off prior to delivery to allow the surrounding soils to dry and bear the weight of the truck and crane.
 - Check corner locations against plans for proper sizing.
 - Verify finish floor elevation for concrete slab (shipped fully attached to the building.)
 - Excavate one foot perimeter footing if required by local code to specified depth.
- SITE ACCESS AND STORAGE:**
Provide suitable safe clear access to allow a crane (up to 110 tons), and the building on a semi-trailer (up to 40 tons) to reach site (14' width, 70' length, and 14' in height). If path to site is over existing utilities, sidewalks, or other damageable areas, proper marking, plating or other appropriate protection must be provided by General Contractor. General Contractor is responsible for removing any overhead obstructions (i.e. power lines, trees). This proposal provides for a 110 ton crane with access to within 25' of the building pad. The proposal is based on four (4) hours of crane time. If access is limited a larger crane may be required. All additional crane costs shall be borne by the CLIENT. A direct route to the project site is assumed. Should routes be altered due to road closures or restrictions, additional fees may apply.
- UTILITIES:**

- Bring water, sewer, and power (if applicable) utilities into point of connection Christy boxes (supplied by RFL), within six feet of the building line at the location shown on our plan.
- Water: RFL will furnish and install a water point of connection (isolation valve), from mechanical chase to a Christy box six feet from the building line. General Contractor must connect service to valve.
 - Sewer: RFL will furnish and install a sewer point of connection from mechanical chase to a Christy box six feet from the building line. General Contractor must connect service.
 - Electrical: (When this option is chosen) RFL will furnish and install a PVC conduit and a Christy box to the point of connection six feet from the building line. General Contractor to pull the electrical service line through the conduit and connect to the main panel lugs inside the building. All electrical inside the building will be furnished and installed by RFL, except as noted above in exclusions.
 - If the utilities are not available when we depart the site, testing and minor leaks will be the responsibility of the General Contractor.
 - A minimum 1/2" line with 25 gpm at 60 psi pressure minimum is required to ensure that water closets will operate as designed. If this is not available an auxiliary holding tank may be required.

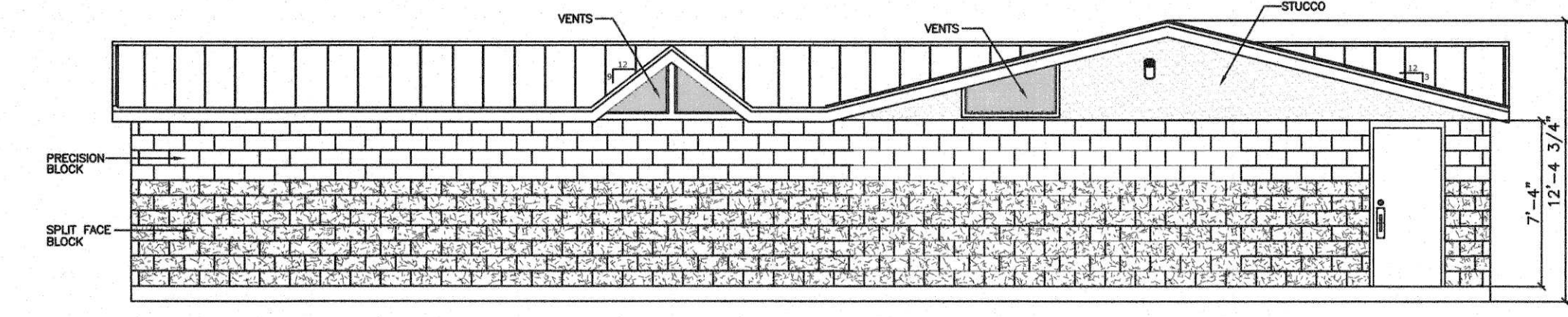
CITY OF DEER PARK
DEER PARK
SOCCER FIELD DEVELOPMENT PHASE 1
EAST BLVD AND EAST 13TH ST
CITY OF DEER PARK TEXAS

Deer Park
EST. 1957
Parks and Recreation

HALFF
14800 ST. MARY'S LANE
SUITE 160
HOUSTON, TEXAS
77079-2943
(713) 998-5160
FAX: (713) 916-5259



REAR ELEVATION



FRONT ELEVATION

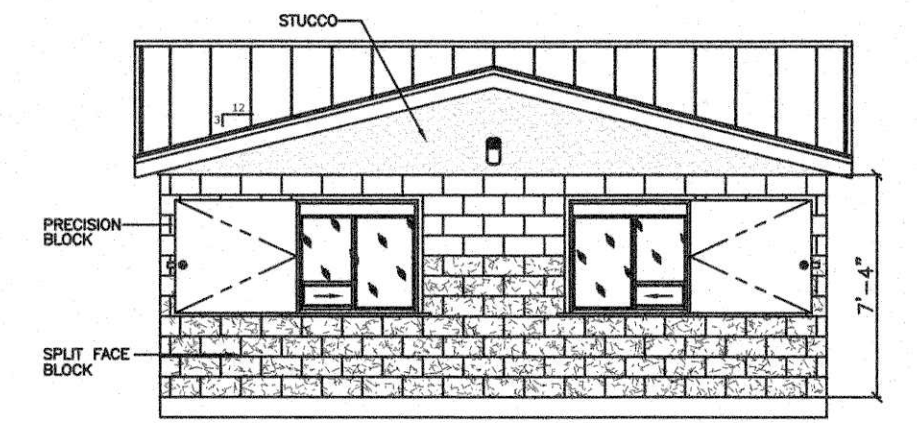
RFL Restroom Facilities Limited
1700 CIRCLE
HOUSTON, TEXAS 77058
713.225.1444

RFL MODEL # BB34STON2
PROJECT: DEER PARK SOCCER

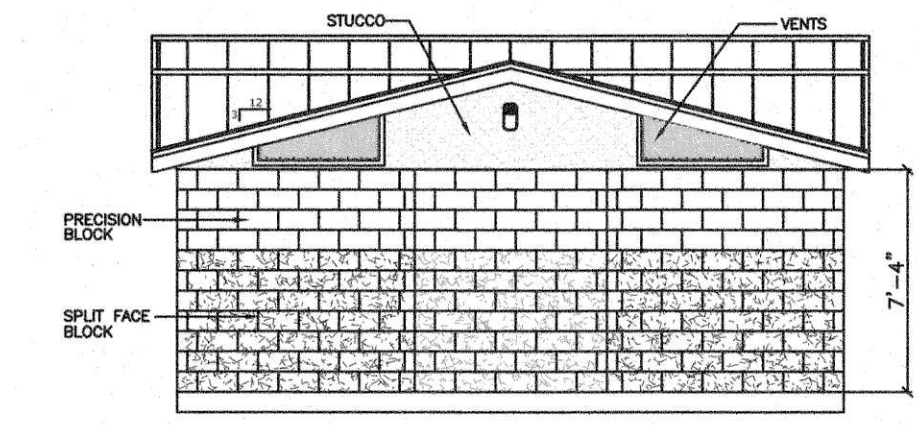
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DATE: 07/20/17
REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:
REVISION:

SHEET DESCRIPTION:
ELEVATIONS

SHEET
A2



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

APPROVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE / RESUBMIT

[Signature]
CITY OF DEER PARK

RFL Restroom Facilities Limited
1700 CIRCLE
HOUSTON, TEXAS 77058
713.225.1444

RFL MODEL # BB34STON2
PROJECT: DEER PARK SOCCER

DRAWN BY: MS
DATE: 07/20/17
REVISION:
DATE:
REVISION:
DATE:
REVISION:
DATE:
REVISION:

SHEET DESCRIPTION:
ELEVATIONS

SHEET
A3

| Submittal / Revision No. | Date | Description |
|--------------------------|----------|-------------|
| 1 | 08/10/17 | BID SET |

| Submittal / Revision No. | Date | Description |
|--------------------------|------|-------------|
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CITY OF DEER PARK
Date Received
AUG 11 2017
ENGINEERING DEPARTMENT

Project No.: 31558-PH1-16003B
Issued: 08/10/17
Drawn By: BM
Checked By: KD / KL
Sheet Title

CORWORTH ARCHITECTURAL ALTERNATE
AA1.0
Sheet Number

ARCHITECTURAL ALTERNATE
OWNER TO PURCHASE PRE-FAB BUILDING AND INSTALL. CONTRACTOR SHALL PROVIDE ELECTRICAL AND PLUMBING CONNECTIONS WITHIN 5' OF THE BUILDING AND COORDINATE WITH SITE WORK AND INSTALLATION WITH OWNER.

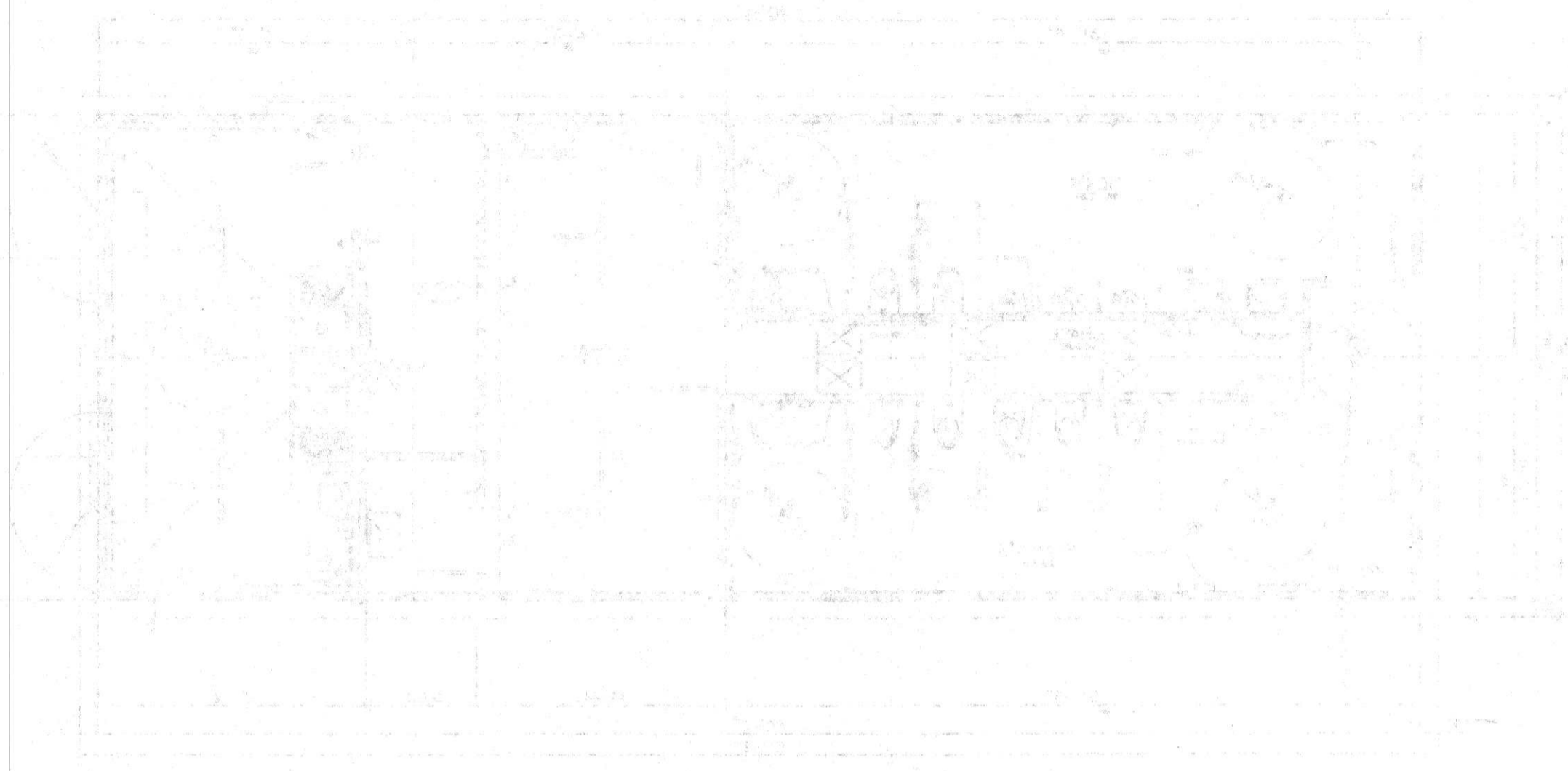
DEER PARK CITY OF DEER PARK
BUILDING DEPARTMENT



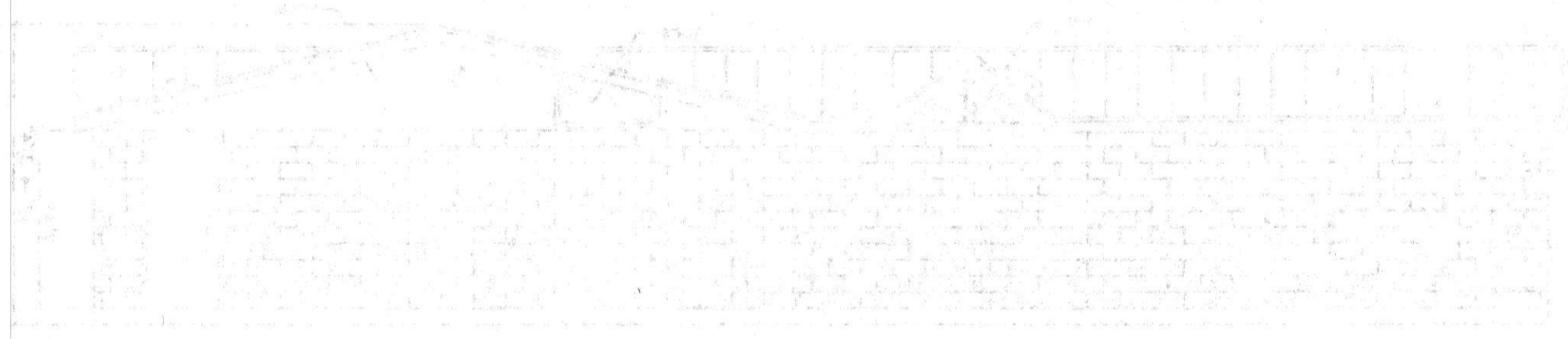
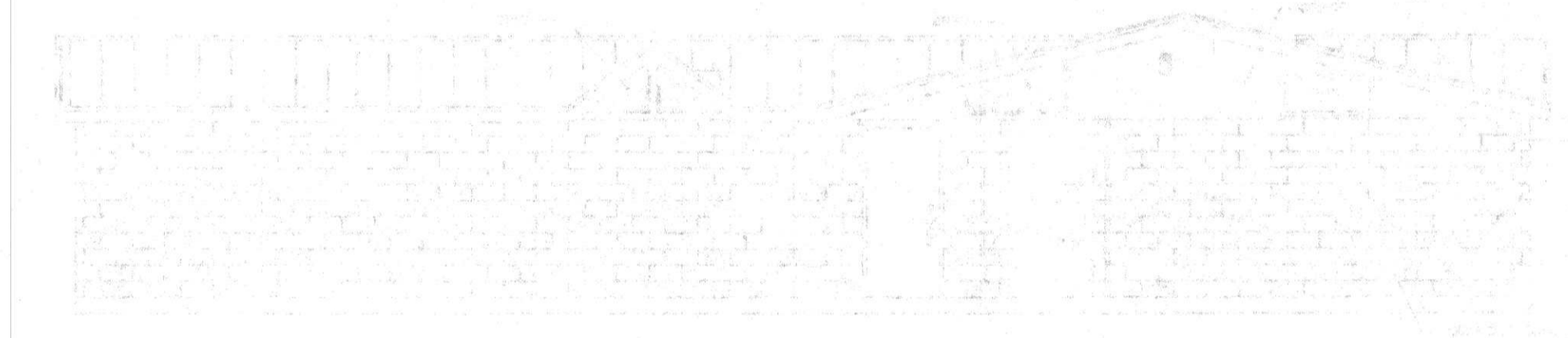
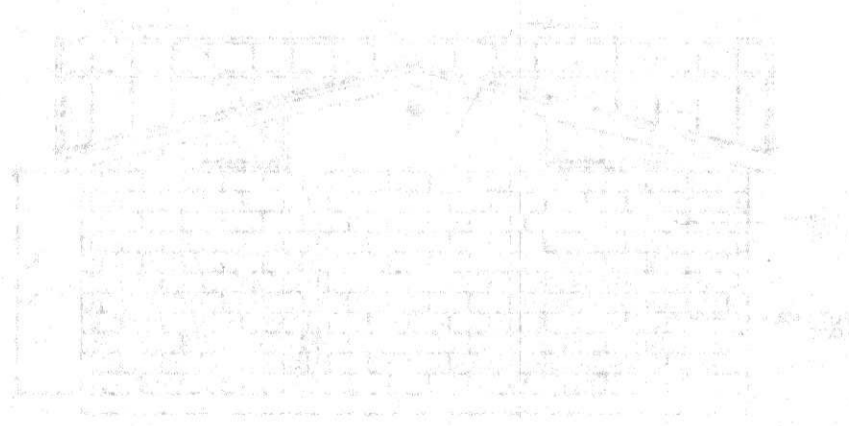
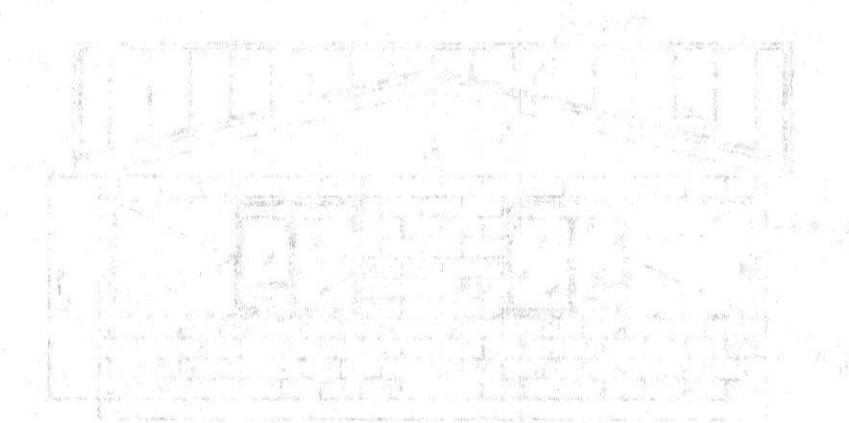
HAYEE

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SECTION 1.00 - GENERAL NOTES
1.01 - REFER TO ALL DRAWINGS FOR NOTES
1.02 - ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DEER PARK SPECIFICATIONS
1.03 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS
1.04 - THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES
1.05 - THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES
1.06 - THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES
1.07 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES
1.08 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES
1.09 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES
1.10 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES



Architectural
 RECEIVED
 APPROVED AS NOTED
 DISAPPROVED
 REVISE & RESUBMIT
AUG 14 2017
DATE



City of Deer Park
DATE
AUG 11 2017
RECEIVED
Building Department

CB-000933-2017
901 EAST BLVD
SOCCER COMPLEX

Set #1 of 7

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